

**NOTICE TO THE AUDIENCE:** Please remember that if you are interested in matters on the agenda that will have subsequent meetings, it is your responsibility to note their dates, times, and places. No further letters or reminders will be sent. Of course, if you have any questions about any given matter, do not hesitate to contact the Planning Department in the City Hall Annex, 4403 Devils Glen Road, Bettendorf, Iowa 52722 or phone (563) 344-4071.

**PLANNING AND ZONING COMMISSION  
CITY OF BETTENDORF  
APRIL 15, 2020 AT 5:30 PM  
CITY HALL COUNCIL CHAMBERS  
1609 STATE STREET**

1. Roll Call: Adam \_\_\_\_, Gannaway \_\_\_\_, Kappeler \_\_\_\_, Ormsby \_\_\_\_, Rafferty \_\_\_\_, Stoltenberg \_\_\_\_, Wennlund \_\_\_\_
2. Approval of minutes of the meeting of February 19, 2020.
3. Review of Commission procedures.

**Replat**

4. Case 20-006; Old Hunters Woods Seventh Addition, submitted by Tim Dolan Development Co.
5. Case 20-011; Pleasant Harbor 2<sup>nd</sup> Addition, submitted by Allen Jenkins.
6. Case 20-014; Creek Ridge Estates 3<sup>rd</sup> Addition, submitted by Ray McDevitt.
7. Case 20-018; Spencer Hollow 4<sup>th</sup> Addition, submitted by Kristin Crawford/IMEG.
8. Case 20-019; Spencer Hollow 5<sup>th</sup> Addition, submitted by Kristin Crawford/IMEG.

**Site Development Plan**

9. Case 20-008; 4465 - 53<sup>rd</sup> Avenue, submitted by Windmill Design Build.
10. Case 20-013; Lot 3, Glenbrook Ridge Third Addition, submitted by Clint Albrecht.
11. Case 20-020; 3014 and 3038 Charissa's Place and 3010, 3013, 3036, and 3037 Mary Leigh Drive, submitted by Youssi Investments of Iowa, LLC.

**Other**

12. Commission Update.

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**MINUTES  
PLANNING AND ZONING COMMISSION  
FEBRUARY 19, 2020  
5:30 P.M.**

The Planning and Zoning Commission meeting of February 19, 2020 was called to order by Wennlund at 5:30 p.m. in the City Hall Council Chambers, 1609 State Street.

1. Roll Call

MEMBERS PRESENT: Adam, Gannaway, Kappeler, Ormsby, Stoltenberg, Wennlund

MEMBERS ABSENT: Rafferty

STAFF PRESENT: Greg Beck, City Planner; John Soenksen, Community Development Director; Lisa Fuhrman, Secretary; Brent Morlok, City Engineer; Brian Fries, Assistant City Engineer; Troy Said, Assistant Fire Chief

2. Introduction of new members Joe Adam and Anne Gannaway.

3. Approval of the minutes of the meeting of December 18, 2019.

On motion by Kappeler, seconded by Stoltenberg, that the minutes of the meeting of December 18, 2019 be approved as submitted.

ALL AYES

Motion carried.

4. Review of Commission procedures.

5. Approval of the 2019 Planning and Zoning Commission Annual Report.

On motion by Kappeler, seconded by Stoltenberg, that the 2019 Planning and Zoning Commission Annual Report be approved as submitted.

ALL AYES

Motion carried.

6. Election of officers.

On motion by Stoltenberg, seconded by Ormsby, that the current officers remain in their positions for 2020.

ALL AYES

Motion carried.

**Final Plat/Site Development Plan**

7. Case 19-091; Ewing Bettendorf First Addition (amended final plat), submitted by Ewing Development.
8. Case 19-092; 2528 Middle Road (amended site development plan), submitted by Ewing Development.

Beck reviewed the staff report for the final plat. He added that the engineer must clarify that the location of the access easement for Lot 3 is placed behind the required 20-foot front yard setback line.

Morlok explained that Shive-Hattery completed a traffic study for the applicant which showed that there are no warrants which would necessitate a traffic signal at Middle Road and Happy Joe Drive. He indicated that most accidents at that intersection are caused by speeding eastbound motorists, adding that a left-turn lane at Happy Joe Drive may be beneficial in the future. Morlok stated that Shive-Hattery's review took into consideration the traffic pattern for the first phase alone and also a full buildout with the both buildings and assuming a commercial business located on Lot 3. He explained that after the initial buildout, it may be useful to reevaluate the intersection and Middle Road and Happy Joe Drive to determine whether there are any warrants.

Soenksen explained that the applicant added the flag lots so that the buildings would have a Middle Road address and so that signage could be placed along Middle Road.

Kappeler asked for clarification of the location of the proposed signage. Soenksen stated that it would be located on the flag lot closest to the bank building.

Wennlund asked if the address would have been from Happy Joe Drive if the original configuration of the plat were used. Soenksen confirmed this, adding that the previous plat did not have any Middle Road frontage for Lots 1 and 2.

Beck reviewed the staff report for the site development plan.

Wennlund asked if there would be full two-way access within the development. Beck confirmed this. A brief discussion was held regarding proposed access to the development. Soenksen commented that there would be no direct access to Middle Road from Lot 3. Morlok explained that the access easement runs the length of Lot 3 because the developer is unsure of what will eventually be located there. He added that the driveway location for Lot 3 will be indicated on a future site plan. Morlok explained that the access easement on Lot 2 will stop short of the right-of-way on Middle Road to prevent direct access to Middle Road.

Kappeler asked if the new driveway would have the same footprint as the existing one. Morlok explained that the driveway to serve the entire site will be put in during the first phase of construction, adding that there will be no additional curb cuts on Middle Road.

Kappeler asked if construction vehicles would be using the Happy Joe Drive entrance. Morlok stated that he believes that is the case.

Ormsby asked how many residents would be living in the development. Morlok explained that there would be 110 units at full buildout and an average of 3-5 trips per day. He added that there would be approximately 1000 trips per day and that all of them would not necessarily involve the Middle Road entrance/exit.

Gannaway asked if staff considers emergency vehicle access when evaluating a site plan. Morlok confirmed this, adding that the second entrance is required because of fire code requirements.

Sue Johnson, 2360 Wrenwood Court, asked when the traffic study was completed and if it took current traffic into account or just the traffic that would be generated at full buildout. Morlok explained that a 24-hour count was

conducted at several locations and that projections were made based on standardized traffic generation patterns. He indicated that the traffic study was completed in November 2019.

Johnson stated that she does not believe that it would be appropriate to have a traffic signal at Happy Joe Drive and Middle Road, adding that she would prefer that a turn-lane be installed there. She asked if delivery vehicles, cleaning staff, etc. had been taken into consideration for the traffic study. Morlok confirmed this, adding that there would be little to no staff on site.

On motion by Kappeler, seconded by Ormsby, that the amended final plat of Ewing Bettendorf First Addition be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Kappeler, seconded by Ormsby, that the amended site development plan for 2528 Middle Road be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

### Final Plat

9. Case 20-002; Brickstone Addition (replat), submitted by City of Bettendorf.

Beck reviewed the staff report.

Soenksen commented that Lot 1 would be the location of a commercial development and that Lot 2 would be a public parking lot. Morlok explained that since the city owns both lots, the existing buildings on Lot 2 would be demolished and that approximately 35 parking spaces would be added along with greenspace and new lighting. He added that another parking lot will be built west of 15<sup>th</sup> Street which would have 75-80 parking spaces. Wennlund commented that the addition of parking spaces will likely attract people to the downtown.

On motion by Stoltenberg, seconded by Gannaway, that the final plat of Brickstone Addition be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

10. Case 20-005; Glenbrook Ridge Third Addition (replat), submitted by Nelson Construction & Development.

Beck reviewed the staff report.

Soenksen stated that because of the Williams pipeline, the sewer was required to be moved in Lots 4 and 5. He added that the replat shows the easements that reflect the location of that pipeline.

On motion by Kappeler, seconded by Adam, that the final plat of Glenbrook Ridge Third Addition be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

### Site Development Plan

11. Case 20-003; North of 6100 Forest Grove Drive, submitted by Scott Emergency Communications Center.

Beck reviewed the staff report.

Wennlund asked if the city is leasing the site to the county. Soenksen confirmed this.

Tony Knobbe, Scott County Board of Supervisors, explained that the proposed tower is one of seven total. He indicated that the project will provide increased coverage for first responders.

On motion by Ormsby, seconded by Stoltenberg, that the site development plan for property located north of 6100 Forest Grove Drive be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

### Final PUD Plan

12. Case 20-007; 610 Holmes Street (Thomas Jefferson Addition), submitted by Applestone Homes, Inc./JJ Condon.

Beck reviewed the staff report.

Wennlund asked which lots would not have garages off the alley. Soenksen stated that Lots 14-20 would not have access to Holmes Street. He added that staff anticipates others will also have garage access to the alley, but that it is unknown how many because future homeowners will choose the configuration of their home. Wennlund asked if there would be adequate space for drivers to maneuver if the lots on the south side of the cul-de-sac have garage access to the alley. Soenksen commented that this situation is common in the original area of the town. Wennlund stated that the benefit of having only one builder would be that he can try to ameliorate this type of issue. Soenksen stated that the applicant will have architectural control of the subdivision.

Jerry Sechser, First Ward Alderman, suggested that the developer maintain the sidewalk and the existing bus lane along Holmes Street during construction. He commented that during a potential flood event, Sixth Street is typically closed and traffic is redirected to Holmes Street. He explained that the bus lane would allow the developer space to park construction vehicles without using on street parking spaces which would narrow the travel portion of the street. Morlok commented that he would work with the developer to implement Sechser's suggestions.

Scott Tunncliff, 718 Holmes Street, expressed his appreciation for the developer's acceding to extending the alley which will enable recycling and garbage trucks to continue on rather than having to turn around and come back out the existing alley. He stated that the heavy traffic from city vehicles has had a deleterious effect on the condition of the alley.

Morlok commented that the city will be reconstructing the alley to the east as part of the alley rehab program this year. He added that because of the conflict with an existing 48-inch pipe, the sanitary sewer will not be connected to the east. He explained that the sewer main will still be replaced, but the sewer for the proposed subdivision will connect at Sixth Street instead. He stated that he anticipates that once the cul-de-sac is constructed, Jones Street will be placed on the city's street resurfacing program in the next year or two.

Amy McClure-Swearingen, 16 Riverview Park Drive, stated that she is part of a group attempting to disseminate information to concerned residents about the proposed development. She indicated that some of the residents have asked for clarification about what kind of amenity would be added to the development and others have expressed concern about the lack of communication from Applestone Homes thus far. She suggested that it would be helpful if the applicant would provide the adjacent homeowners with information regarding the schedule for demolition as some have expressed concern about the safety of the children in the neighborhood who still use the playground equipment. Wennlund suggested that the engineer could pass the message along to the developer regarding communication with the residents. McClure-Swearingen commented that it would be nice if the developer contacted those adjacent residents directly.

Wennlund asked if a demolition permit is required. Soenksen confirmed this, adding that equipment is usually staged on the site considerably before the demolition and that it cannot take place until all of the utilities have been disconnected. He stated that it becomes very obvious at that point that demolition is imminent. Morlok added that there will be a safety fence surrounding the entire property.

Ormsby asked if McClure-Swearingen thinks that a mailer should be sent out to everyone within a 5-mile radius. McClure-Swearingen stated that she believes that the developer should communicate with someone like herself, send letters to nearby residents detailing the timeline for the project, and deliver flyers to the homeowners who are directly affected as did the Police Department when their Emergency Response Unit used the school for a training exercise. Wennlund stated that those are good suggestions which can be communicated to the applicant.

Mike Richmond, the applicant's engineer, stated that the site will be fenced off, adding that he would be willing to facilitate communication to the neighbors. He questioned whether he should do that independently or go through the city. Morlok stated that it should be handled independently.

Ormsby asked if the playground equipment currently on the site would be moved or reused. Morlok explained that it would be removed but not reused as it is in poor condition.

Kappeler asked if any enhancements would be added to the project. Curran explained that the ordinance does not require an amenity for a PUD. Soenksen stated that the original plan for the development showed driveways along Holmes Street for those lots rather than alley access. He indicated that the tradeoff to eliminate those driveways was to extend the alley and have rear yard garages. He stated that he considers this to be an amenity. Wennlund commented that it appears as though the butterfly garden that had been discussed would not be a part of the final plat. McClure-Swearingen stated that this is an example of the type of detail that should have been communicated by the developer. Wennlund commented that an alley will likely be more beneficial to the residents rather than the butterfly garden. McClure-Swearingen concurred, reiterating that it would have been helpful to have that information which could then be given to the residents.

On motion by Adam, seconded by Kappeler, that the final PUD plan for 610 Holmes Street be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

### Ordinance Amendment

13. Case 20-004; Section 11-11-3.A.1 of the Municipal Code, Supplemental Use Regulations - Residential Uses, submitted by City of Bettendorf.

Beck reviewed the staff report.

Wennlund asked if the current width requirement applies to 75 percent of the length of a home and if that would still be the case. Beck confirmed this, adding that the requirement will apply to all types of housing.

On motion by Stoltenberg, seconded by Gannaway, that the ordinance amending Section 11-11-3.A.1 of the Municipal Code be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

14. Case 20-010; Section 11-2-7 of the Municipal Code, Commercial Use Types, submitted by City of Bettendorf.

Beck reviewed the staff report.

On motion by Kappeler, seconded by Stoltenberg, that the ordinance amending Section 11-2-7 of the Municipal Code be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

Other

15. Commission Update.

Soenksen stated that the following case was approved by City Council since the last meeting:

7186 State Street, site development plan

Soenksen added that the applicant has chosen to construct only the fly ash building at this time. He stated that a fire hydrant will be installed on the site. Morlok explained that an agreement has been reached with Iowa-American Water Company to install a water main along State Street which was a requirement of the original site plan from 10 years ago. He indicated that this will facilitate the installation of the hydrant and may allow adjacent property owners to connect to it.

There being no further business, the meeting adjourned at approximately 6:40 p.m.

These minutes approved

\_\_\_\_\_  
\_\_\_\_\_

Gregory W. Beck  
City Planner



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

April 15, 2020

Staff Report

### **Case No. 20-006**

**Subdivision Name:** Old Hunters Woods Seventh Addition - Replat

**Applicant:** Tim Dolan Development Co.

**Current Zoning Classification:** R-1, Single-family Residence District

**Current Land Use Designation:** Urban Low Intensity

### **Background Information and Facts**

Tim Dolan Development Co. has submitted the final plat of Old Hunters Woods Seventh Addition which is located on the south side of Grover Station and to the east of Woody Creek Lane (see Aerial Photo - Attachment A). The proposed subdivision is a replat of Lots 10, 11 and 12 of Old Hunter Woods Fifth Addition and will combine the three lots into two new ones (see Original Plat and New Plat - Attachments B and C).

The replat will create more room for an addition onto the house that is on the proposed Lot 1 of the new subdivision.

### **Utilities**

Utilities are already available to the area.

### **Thoroughfare Plan/Pedestrian Access**

Access will be via Woody Creek Lane to Grover Station.

### **Staff Recommendation**

Staff recommends approval of the final plat subject to the following conditions:

1. Approval of the plat does not waive any other state, federal, or local government provisions as required by law.
2. A maintenance agreement is needed for Outlot A.

Respectfully submitted,

Greg Beck  
City Planner





GROVER STA

WOODY CREEK CIR

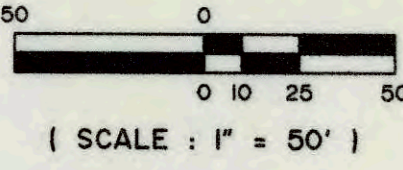
STILL CREEK PASS

LITTLE CABIN RD



# FINAL PLAT OF OLD HUNTERS WOODS FIFTH ADDITION TO THE CITY OF BETTENDORF, IOWA

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 12  
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.



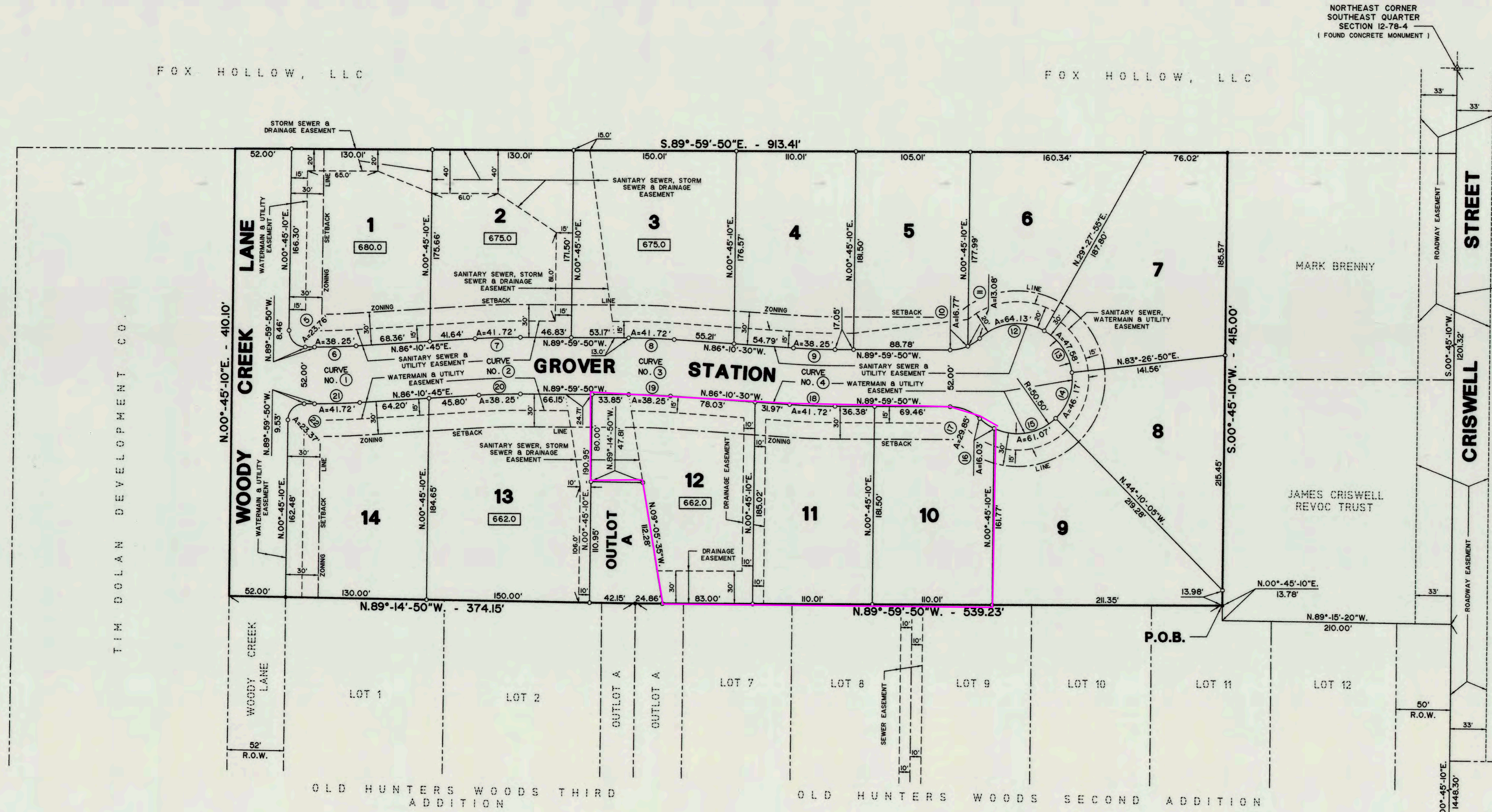
<p><b>OWNER</b></p> <p><b>TIM DOLAN</b> <b>DEVELOPMENT CO.</b> P.O. BOX 148 BETTENDORF, IOWA 52722 ATTN: TIM DOLAN</p>	<p><b>DEVELOPER</b></p> <p><b>OLD HUNTERS WOODS</b> <b>DEVELOPMENT CO, LC</b> P.O. BOX 148 BETTENDORF, IOWA 52722 ATTN: TIM DOLAN</p>
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CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	599.33'	03°-49'-20"	39.99'	39.98'	N.88°-05'-30"E.	20.00'
2	599.33'	03°-49'-20"	39.99'	39.98'	N.88°-05'-30"E.	20.00'
3	599.33'	03°-49'-20"	39.99'	39.98'	N.88°-05'-10"W.	20.00'
4	599.33'	03°-49'-20"	39.99'	39.98'	N.88°-05'-10"W.	20.00'
5	15.00'	90°-49'-00"	23.76'	23.35'	N.44°-37'-20"W.	15.20'
6	573.33'	03°-49'-20"	38.25'	38.24'	N.88°-05'-30"E.	19.13'
7	625.33'	03°-49'-20"	41.72'	41.71'	N.88°-05'-30"E.	20.87'
8	625.33'	03°-49'-20"	41.72'	41.71'	N.88°-05'-10"W.	20.87'
9	573.33'	03°-49'-20"	38.25'	38.24'	N.88°-05'-10"W.	19.13'
10	39.50'	24°-19'-30"	16.77'	16.64'	N.77°-50'-25"E.	8.51'
11	39.50'	18°-58'-30"	13.08'	13.02'	N.56°-11'-25"E.	6.60'

CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
12	50.50'	72°-45'-45"	64.13'	59.91'	N.83°-05'-00"E.	37.21'
13	50.50'	53°-58'-55"	47.58'	45.84'	N.33°-32'-35"W.	25.72'
14	50.50'	52°-23'-00"	46.17'	44.58'	N.18°-38'-20"E.	24.84'
15	50.50'	69°-17'-15"	61.07'	57.42'	N.80°-28'-30"E.	34.89'
16	50.50'	18°-10'-55"	16.03'	15.96'	N.58°-47'-20"W.	8.08'
17	39.50'	43°-18'-00"	29.85'	29.15'	N.68°-20'-50"W.	15.68'
18	625.33'	03°-49'-20"	41.72'	41.71'	N.88°-05'-10"W.	20.87'
19	573.33'	03°-49'-20"	38.25'	38.24'	N.88°-05'-10"W.	19.13'
20	573.33'	03°-49'-20"	38.25'	38.24'	N.88°-05'-30"E.	19.13'
21	625.33'	03°-49'-20"	41.72'	41.71'	N.88°-05'-30"E.	20.87'
22	15.00'	89°-15'-00"	23.37'	21.07'	N.45°-22'-40"E.	14.80'

**GENERAL NOTES**

- IRON MONUMENTS FOUND SHOWN THUS ( 5/8" IRON PIN ).
- IRON MONUMENTS SET SHOWN THUS ( 5/8" x 30" IRON PIN ).
- DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBDIVISION CONTAINS 8.68 ACRES, MORE OR LESS.
- FOR THIS SURVEY THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 12-78-4 WAS ASSUMED TO BEAR N.00°-45'-10"E.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLES, GAS SERVICE, WATER SERVICE, SEWER LATERAL, TELEPHONE SERVICE AND CABLE T.V. SERVICE TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- ALL STREET RIGHT OF WAYS ARE DEDICATED TO THE CITY OF BETTENDORF, IOWA, FOR STREET PURPOSES.
- LOTS ARE ZONED R-1 ( SINGLE-FAMILY RESIDENCE DISTRICT ). AS AN ALTERNATIVE TO THE STAGGERED FRONT YARD SETBACK, THE FRONT YARD SETBACK FOR ALL LOTS IN THE SUBDIVISION MAY BE A MINIMUM OF THIRTY FEET IF AT LEAST TWENTY FIVE PERCENT OF THE STRUCTURE IS OFFSET TO PROVIDE A NONUNIFORM FRONTAGE APPEARANCE.
- ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL INTERIOR STREETS WHEN ADJOINING LOTS ARE DEVELOPED.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
- THE LOW WATER ENTRY POINT ELEVATION FOR RESIDENCES ON LOTS 1, 2, 3, 12 AND 13 MUST BE EQUAL TO OR GREATER THAN THE ELEVATION SHOWN IN THE BOX ON THE RESPECTIVE LOT.
- OUTLOT A IS A SANITARY SEWER, STORM SEWER, DRAINAGE AND DETENTION BASIN EASEMENT.
- IT'S A VIOLATION TO PERFORM ANY WORK IN OUTLOT A WITHOUT PRIOR APPROVAL FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.



LOT AREAS			
NO.	SQUARE FEET	NO.	SQUARE FEET
1	23,285	9	23,400
2	22,430	10	19,665
3	25,920	11	20,065
4	19,780	12	22,025
5	19,040	13	28,350
6	18,775	14	23,355
7	24,360	-	-
8	19,355	A	6,360

<p><b>CENTURYLINK</b></p> <p>BY <i>Ant Allen</i></p> <p>DATE 7-13-15</p>	<p><b>MIDAMERICAN ENERGY COMPANY</b></p> <p>BY <i>John Buge</i></p> <p>DATE 7-7-15</p>	<p><b>IOWA-AMERICAN WATER CO.</b></p> <p>BY <i>Steven J. Ollender</i></p> <p>DATE 7-7-15</p>	<p><b>MEDIACOM</b></p> <p>BY <i>Lisa McKinney</i></p> <p>DATE 7-7-15</p>	<p><b>PLAN &amp; ZONE COMMISSION</b></p> <p>BY <i>Paul Whelan</i></p> <p>DATE 7-15-15</p>	<p><b>CITY OF BETTENDORF, IOWA</b></p> <p>BY <i>R.D. Alley</i></p> <p>ATTEST <i>Debra P. Beach</i></p> <p>DATE 7-21-15</p>
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I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

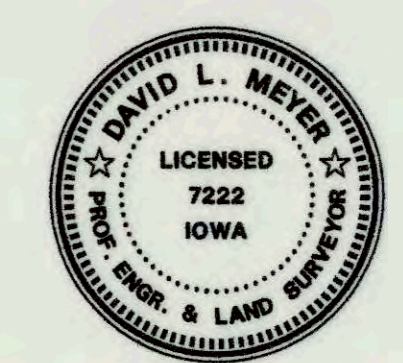
Signature: *David L. Meyer*

Date: MAY 1, 2015

My license renewal date is December 31, 2019

THIS SHEET ONLY

Pages or sheets covered by this seal:



**PREPARED BY**

**VERBEKE - MEYER**  
**CONSULTING ENGINEERS, P.C.**

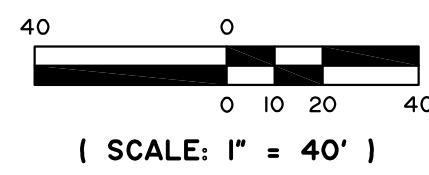
4111 EAST 60th STREET  
DAVENPORT, IOWA 52807  
PHONE NUMBER: ( 563 ) 359 - 1348

VMCE 15115

FINAL PLAT OF ATTACHMENT C

# OLD HUNTERS WOODS SEVENTH ADDITION TO THE CITY OF BETTENDORF, IOWA

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 12  
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.  
AND BEING A REPLAT OF LOTS 10, 11 AND 12  
OLD HUNTERS WOODS FIFTH ADDITION

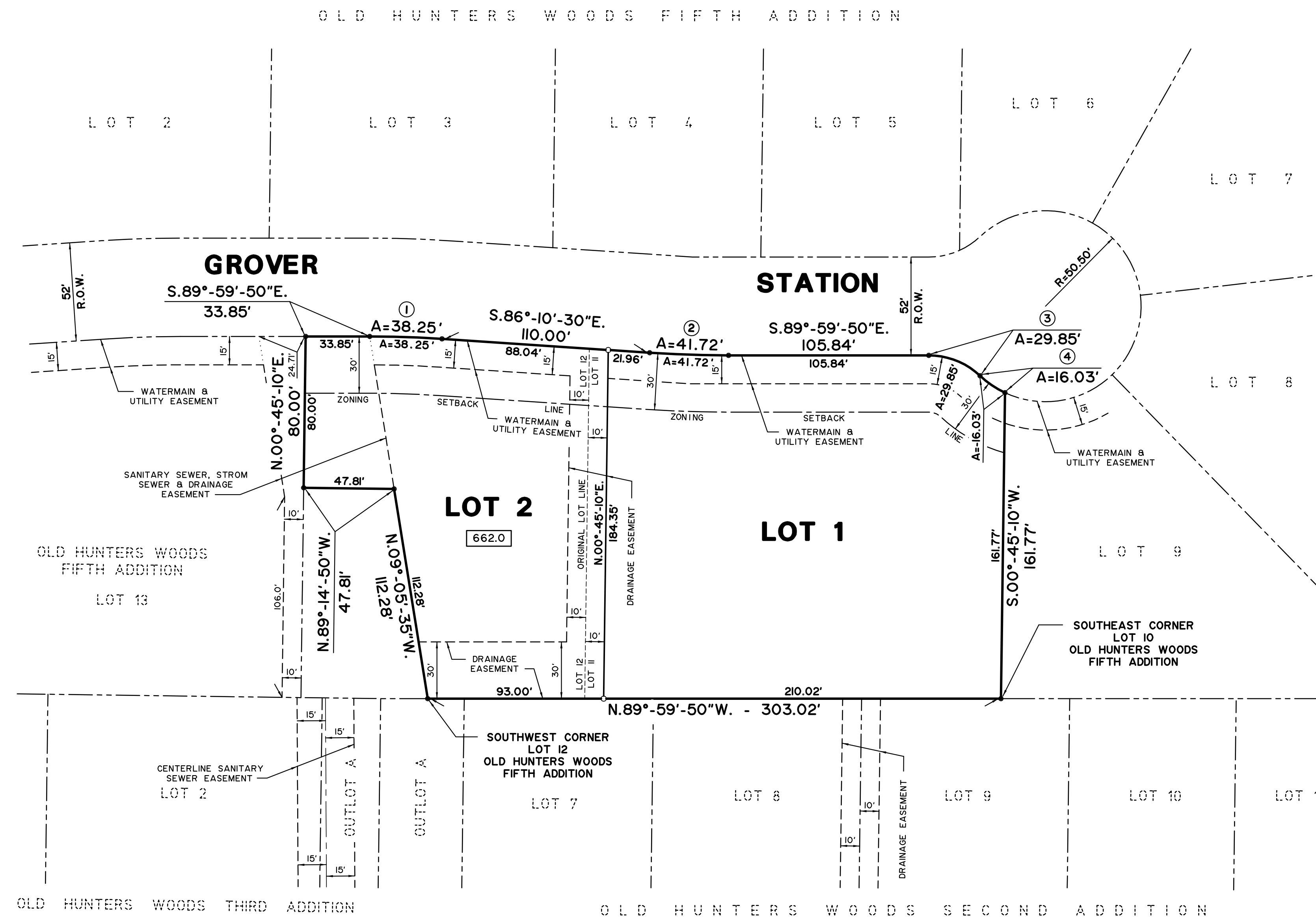


CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	573.33'	03°-49'-20"	38.25'	38.24'	N.88°-05'-10"W.	19.13'
2	625.33'	03°-49'-20"	41.72'	41.71'	N.88°-05'-10"W.	20.87'
3	39.50'	43°-18'-00"	29.85'	29.15'	N.68°-20'-50"W.	15.68'
4	50.50'	18°-10'-55"	16.03'	15.96'	N.55°-47'-20"W.	8.08'

OWNER  
**TIM DOLAN**  
**DEVELOPMENT CO.**  
P.O. BOX 148  
BETTENDORF, IOWA 52722

OWNER  
**MITCHEL M. MCKENZIE**  
**LINDSEY B. MCKENZIE**  
6863 GROVER STATION  
BETTENDORF, IOWA 52722

DEVELOPER  
**OLD HUNTERS WOODS**  
**DEVELOPMENT CO. LC**  
P.O. BOX 148  
BETTENDORF, IOWA 52722  
**ATTN: TIM DOLAN**



GENERAL NOTES

- IRON MONUMENTS FOUND SHOWN THUS ( 5/8"φ IRON PIN ).
- IRON MONUMENTS SET SHOWN THUS ( 5/8"φ x 30" IRON PIN ).
- DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBDIVISION CONTAINS 1.42 ACRES, MORE OR LESS.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLES, GAS SERVICE, WATER SERVICE, SEWER LATERAL, TELEPHONE SERVICE AND CABLE T.V. SERVICE TO INDIVIDUAL STRUCTURES AND STREET
- LOTS ARE ZONED R-1 ( SINGLE-FAMILY RESIDENCE DISTRICT ).
- ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- SIDEWALKS SHALL BE INSTALLED ALONG THE FRONTAGES OF LOTS 1 AND 2.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
- THE LOW WATER ENTRY POINT ELEVATION FOR THE RESIDENCE ON LOT 2 MUST BE EQUAL TO OR GREATER THAN THE ELEVATION SHOWN IN THE BOX ON THE LOT.

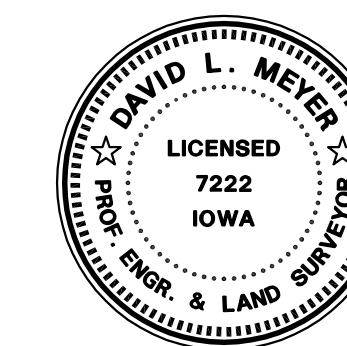
LOT AREAS			
NO.	SQUARE FEET	NO.	SQUARE FEET
1	37,880	2	23,875

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Signature: \_\_\_\_\_  
 David L. Meyer, P.E. & L.S., License Number 7222  
 Date: JANUARY 31, 2020  
 My license renewal date is December 31, 2020

THIS SHEET ONLY

Pages or sheets covered by this seal: \_\_\_\_\_



<u>CENTURYLINK</u>	<u>MIDAMERICAN ENERGY COMPANY</u>	<u>IOWA-AMERICAN WATER CO.</u>	<u>MEDIACOM</u>	<u>PLAN &amp; ZONE COMMISSION</u>	<u>CITY OF BETTENDORF, IOWA</u>	<u>PREPARED BY</u>
BY _____	BY _____	BY _____	BY _____	BY _____	BY _____	<b>KLINGNER ASSOCIATES, P.C.</b>
DATE _____	DATE _____	DATE _____	DATE _____	DATE _____	ATTEST _____	4111 EAST 60th STREET DAVENPORT, IOWA 52807 PHONE NUMBER ( 563 ) 359 - 1348
	APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN ENERGY COMPANY				DATE _____	VMCE 20-6010



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

April 15, 2020

Staff Report

### **Case No. 20-011**

**Subdivision Name:** Pleasant Harbor 2<sup>nd</sup> Addition - Replat

**Location:** South of Terrell's 1<sup>st</sup> Addition and north of Pleasant Harbor Addition

**Applicant:** Allen Jenkins

### **Background Information and Facts**

Allen Jenkins has submitted the final plat of Pleasant Harbor 2<sup>nd</sup> Addition which is located north of the Pleasant Harbor area (see Aerial Photo - Attachment A). An area further north was previously platted as Terrell's 1<sup>st</sup> Addition (see Final Plat - Attachment B). The plat has two lots and involves just over 6.8 acres (see Final Plat - Attachment C). The homeowners intend to use the area for vehicle storage, especially during times of flooding on the Mississippi River.

### **Zoning**

The area zoned is I-1, Limited Industrial District.

### **Utilities**

No utilities are currently needed or provided for this site, and none are anticipated in the near future. Two 15-foot wide easements are provided on each side of the private roadway should water or sewer become available in the future.

### **Thoroughfare Plan/Access**

Access to the site is anticipated from US 67 proceeding south via 244<sup>th</sup> Avenue which is a sealcoated private roadway.

### **Storm Water Detention**

Storm water detention will not be required for the site given its close proximity to the Mississippi River.

### **Recommended Action**

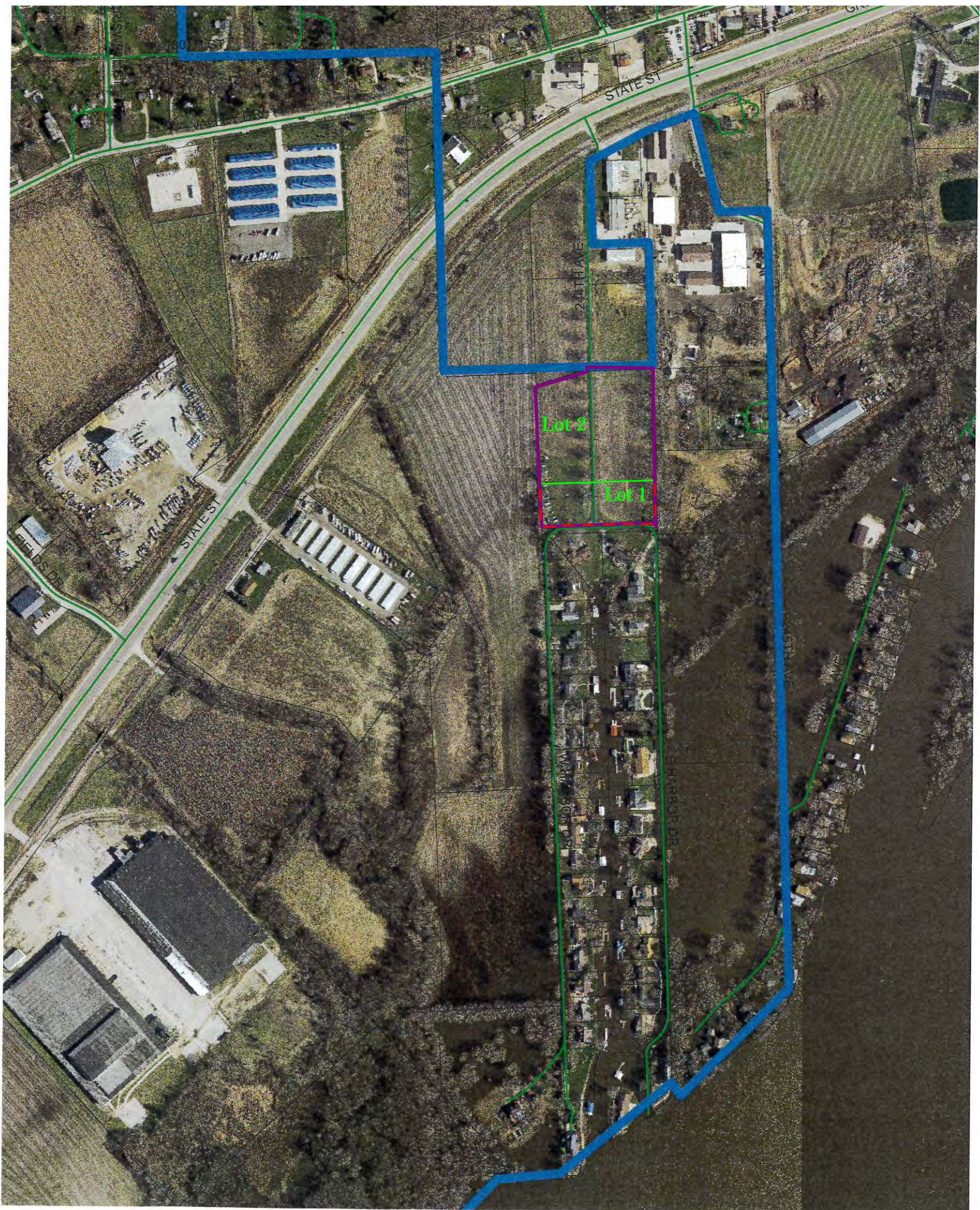
Staff recommends the Planning and Zoning Commission recommend approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.

2. An agreement between the developer and the residents of Pleasant Harbor area must be detailed in the platting documentation regarding care and maintenance of the access easement area and the sealcoated roadway.

Respectfully submitted,

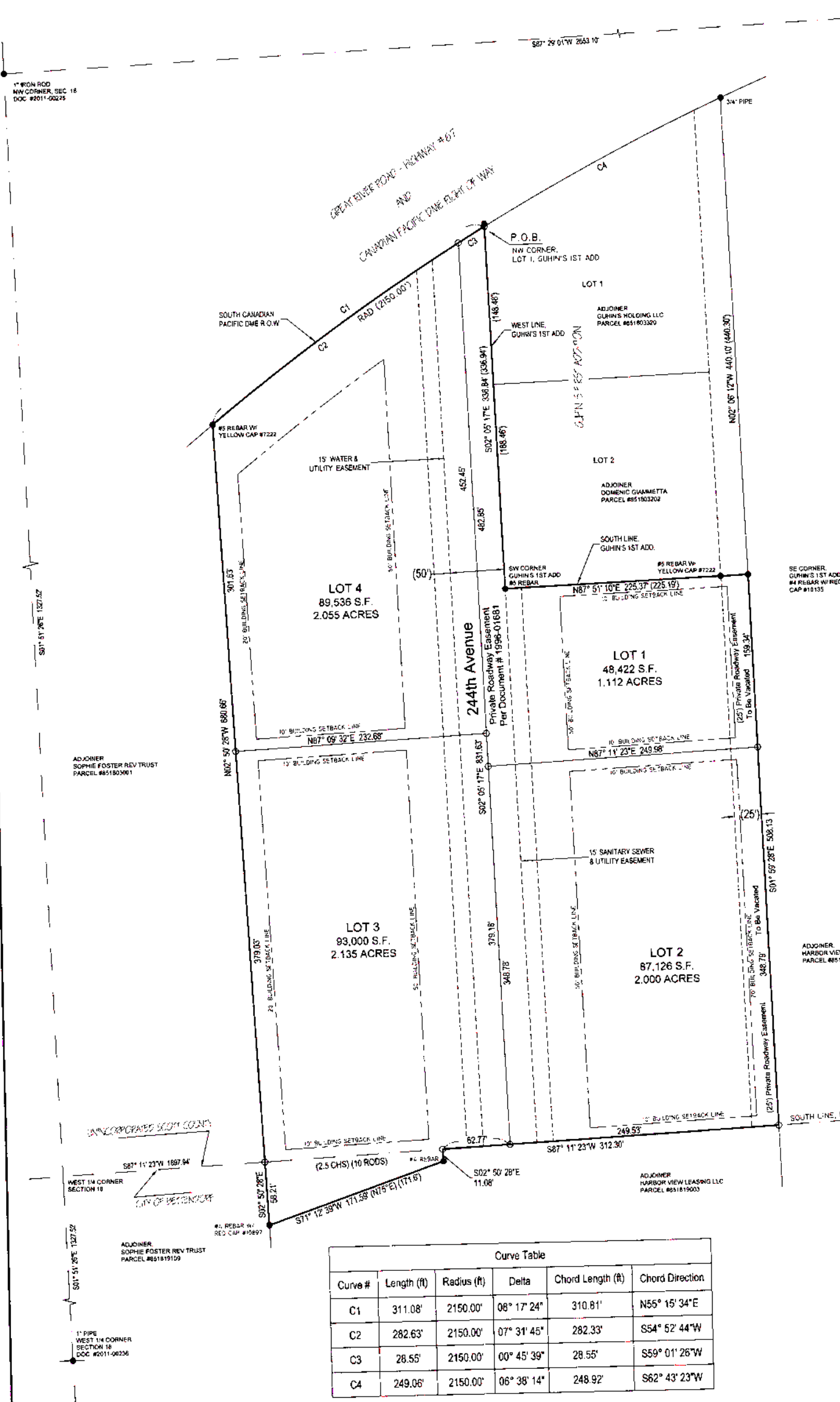
Greg Beck  
City Planner



# TERRELL'S 1st ADDITION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 78 NORTH, RANGE 5 EAST OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA

**ATTACHMENT B**  
Doc ID: 201800051111  
Recorded: 12/21/2018 10:24:17 AM  
Page 1 of 1  
Scott County, Iowa  
Katie A. Harbor Recorder  
2018-00051111



### PLAT INFORMATION

- Owner:**  
Harbor View Leasing LLC  
17851 244th Avenue  
Bettendorf, Iowa 52722
- Engineer:**  
Townsend Engineering  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Surveyor:**  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Attorney:**  
John Carroll  
Attorney at Law  
201 W. 2nd Street, Suite 801  
Davenport, Iowa 52801  
Ph: (563) 326-1008

### NOTES:

SUBDIVISION AREA: 7.302± ACRES. / 318,080± S.F.

SUBDIVISION IS ZONED "C-2", COMMERCIAL AND LIGHT INDUSTRIAL DISTRICT AS DEFINED IN SCOTT COUNTY, IOWA ORDINANCE No. 16-03, RECORDED AS DOC. #2016-11228

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

THIS SUBDIVISION LIES WITHIN ZONE "X" (AREA NOT PRONE TO FLOODING) AS SHOWN ON FEMA FIRM PANEL 19163C0383F#, EFFECTIVE FEBRUARY 18, 2011.

SEWAGE TREATMENT TO BE PROVIDED BY PRIVATE SEPTIC SYSTEMS UNTIL SUCH TIME SCOTT COUNTY HEALTH DEPARTMENT DETERMINES SANITARY SEWER SERVICE IS REQUIRED. THE LOT OWNERS SHALL MAKE NECESSARY CONNECTIONS TO THE PUBLIC SYSTEM.

"UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER AND COMMUNICATION LINES AS NEEDED.

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE COUNTY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATED.

THE 25' PRIVATE ROADWAY EASEMENT ALONG THE EAST SIDE OF THIS SUBDIVISION SHALL BE VACATED WITH THE COUNTY ACCEPTANCE AND RECORDATION OF THIS PLAT.

### APPROVAL SIGNATURES:

*[Signature]* 8/27/18  
MAYOR DATE:

*[Signature]* 8-27-18  
CITY CLERK DATE:

*[Signature]* 8/24/18  
BETTENDORF, CHAIRMAN PLAN & ZONE DATE:

*[Signature]* 8/24/18  
CENTURY LINK DATE:

*[Signature]* 8/23/18  
IOWA - AMERICAN WATER COMPANY DATE:

*[Signature]* 8/23/18  
MEDIACOM DATE:

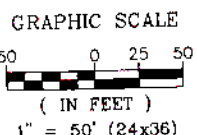
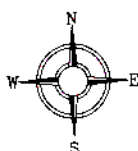
*[Signature]* 8/23/18  
MIDAMERICAN ENERGY DATE:  
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

*[Signature]* 9/20/18  
SCOTT COUNTY PLANNING AND ZONING DATE:

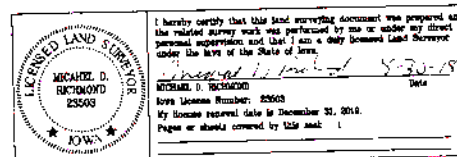
Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	311.08'	2150.00'	08° 17' 24"	310.81'	N55° 15' 34"E
C2	282.63'	2150.00'	07° 31' 45"	282.33'	S54° 52' 44"W
C3	28.55'	2150.00'	00° 45' 39"	28.55'	S59° 01' 26"W
C4	249.06'	2150.00'	06° 38' 14"	248.92'	S62° 43' 23"W

### LEGEND:

- DEED DIMENSION = (0.00')
- FIELD DIMENSION = 0.00'
- MONUMENTS FOUND
- #5 REBAR, UNLESS NOTED = ●
- CHISELED "X" = X
- MONUMENTS SET:
- #5 REBAR W/ YELLOW CAP #23503 = ○
- BOUNDARY LINE = ———
- ROAD CENTER LINE = ———
- EASEMENT LINE = - - - - -
- SETBACK LINE = - - - - -
- SECTION LINE = ———



THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (1402) GEOID (2A, NAD 83 (2011) EPOCH 2010.00.



DATE: 05/10/18  
PROJECT NO: 00000.00  
DRAWN BY: KLC  
CHECKED BY: MDR  
DRAWN BY: S. TERRELL/HARBORVIEW

REVISIONS:

NO.	DESCRIPTION	DATE

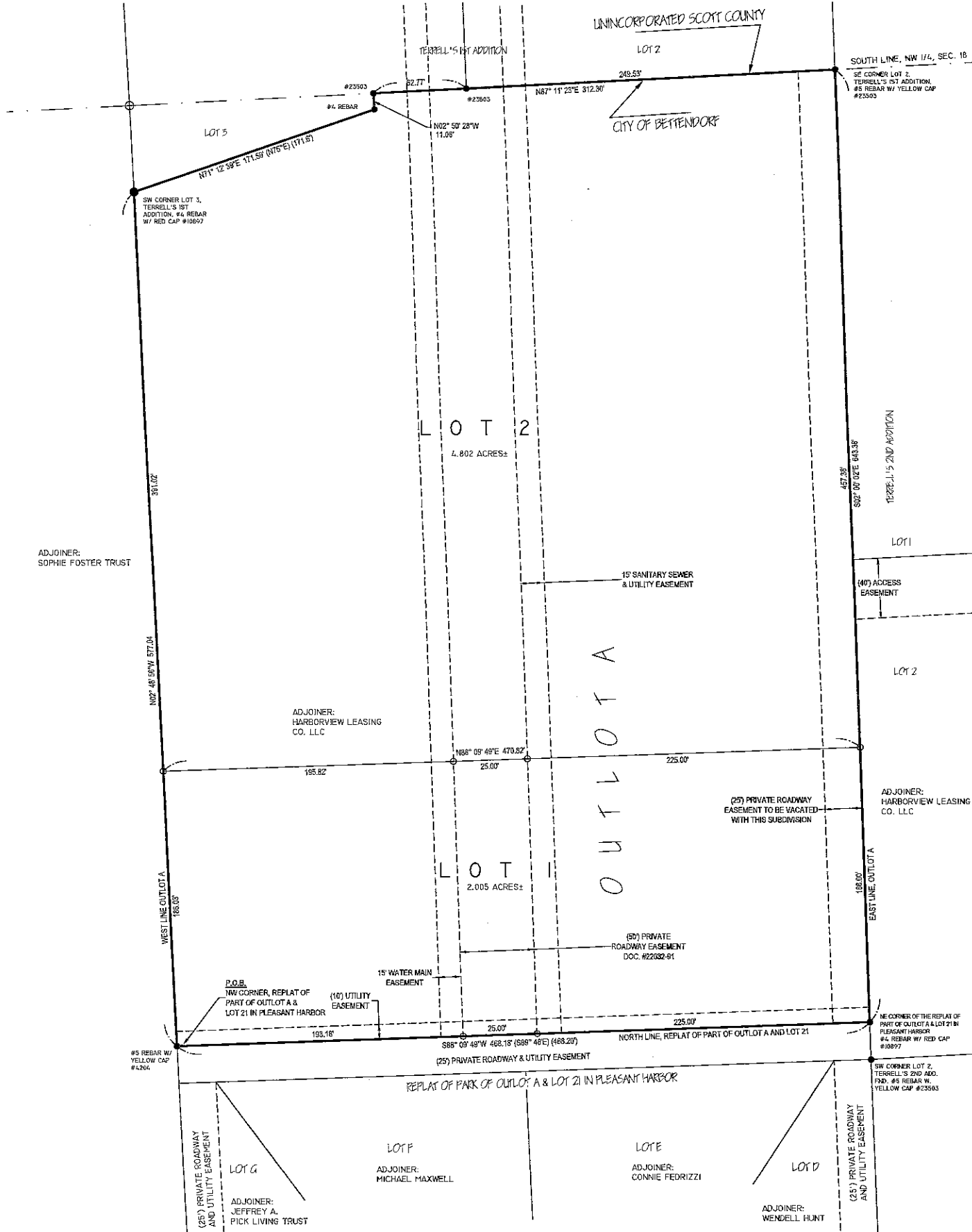
PROJECT  
FINAL PLAT  
SUBDIVISION  
SCOTT COUNTY, IOWA

DEVELOPER  
HARBOR VIEW LEASING LLC  
17851 244TH AVENUE  
BETTENDORF, IOWA

SHEET NO.  
1  
OF  
1

# FINAL PLAT OF: PLEASANT HARBOR 2ND ADDITION

BEING A REPLAT OF PART OF OUTLOT A OF THE AUDITOR'S PLAT OF PLEASANT HARBOR, AN ADDITION LOCATED IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 78 NORTH, RANGE 5 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF BETTENDORF, SCOTT COUNTY, IOWA



**PLAT INFORMATION**

1. Owner:  
Harbor View Leasing LLC  
17851 244th Avenue  
Bettendorf, Iowa 52722
2. Engineer:  
Townsend Engineering  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
3. Surveyor:  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
4. Attorney:  
Marc Gellerman  
1987 Spruce Hills Drive  
Bettendorf, Ia 52722  
(563) 359-3646

**NOTES:**

SUBDIVISION AREA: 6.807± ACRES. / 296,501± S.F.  
MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.  
ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.  
COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.  
THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.  
BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.  
THIS SUBDIVISION LIES WITHIN AN "X" (0.2% CHANCE OF FLOODING, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE) AS SHOWN ON FEMA FIRM PANEL 19163C0383F# EFFECTIVE FEBRUARY 18, 2011.  
SEWAGE TREATMENT TO BE PROVIDED BY PRIVATE SEPTIC SYSTEMS UNTIL SUCH TIME SCOTT COUNTY HEALTH DEPARTMENT DETERMINES SANITARY SEWER SERVICE IS REQUIRED. THE LOT OWNERS SHALL MAKE NECESSARY CONNECTIONS TO THE PUBLIC SYSTEM.  
"UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER AND COMMUNICATION LINES AS NEEDED.  
PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE COUNTY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATED.

APPROVAL SIGNATURES:

MAYOR	DATE:
CITY CLERK	DATE:
BETTENDORF, CHAIRMAN PLAN & ZONE	DATE:
CENTURY LINK	DATE:
IOWA - AMERICAN WATER COMPANY	DATE:
MEDIACOM	DATE:
MIDAMERICAN ENERGY	DATE:

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

LICENCED LAND SURVEYOR

MICHAEL D. RICHMOND

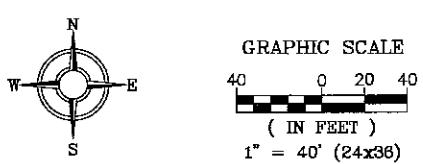
22553

IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed land surveyor under the laws of the State of Iowa.

MICHAEL D. RICHMOND  
Iowa License Number: 22553  
By Deed returned date to December 31, 2021.  
Pages or sheets covered by this plat: 1

**LEGEND:**  
DEED DIMENSION = (0.00')  
FIELD DIMENSION = 0.00'  
MONUMENTS FOUND  
#5 REBAR, UNLESS NOTED = ●  
MONUMENTS SET:  
#5 REBAR W/ YELLOW CAP #23503 = ○  
BOUNDARY LINE = ———  
EASEMENT LINE = - - - - -  
SETBACK LINE = - · - · -



<b>TOWNSEND ENGINEERING</b> <small>CIVIL - STRUCTURAL - LAND DEVELOPMENT</small>	DATE: 02-07-2020	DRAWN BY: KLC	REVISIONS:	PROJECT	PREPARED FOR	SHEET NO.
	563.386.4236 ext. 386.4231 2224 East 12th Street, Davenport, IA 52803	CHECKED BY: MDR LOCATION: S. JENKINS-ALAN	NO.      DESCRIPTION      DATE	FINAL PLAT PLEASANT HARBOR 2ND ADDITION BETTENDORF, IOWA	PLEASANT HARBOR H.O.A. PO BOX 108 PLEASANT VALLEY, IA 52722	1 OF 1





## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

April 15, 2020

Staff Report

### **Case No. 20-014**

**Subdivision Name:** Creek Ridge Estates 3<sup>rd</sup> Addition – Final Plat

**Location:** East of 39<sup>th</sup> Street, and south of Creek Hill Drive

**Applicant:** Ray McDevitt

**Zoning Designation:** R-5, High Density Multi-family Residence District

### **Background Information and Facts**

Ray McDevitt is requesting approval of a replat of Lot 1, Creek Ridge Estates 2<sup>nd</sup> Addition (see Aerial Photo and Final Plat - Attachments A and B). The new subdivision will be divided into two lots (see Final Plat - Attachment C).

### **Land Use**

The land use designation is Urban High Density, and the zoning classification is R-5, High-Density Multi-family Residence District. A variety of housing is permitted in the proposed subdivision.

### **Utilities**

All utilities are available to the site. The developer will be responsible for connection to utilities for any future development.

### **Thoroughfare Plan/Pedestrian Access**

Traffic from State Street will use 39<sup>th</sup> Street and turn east onto Creek Hill Drive to the subdivision.

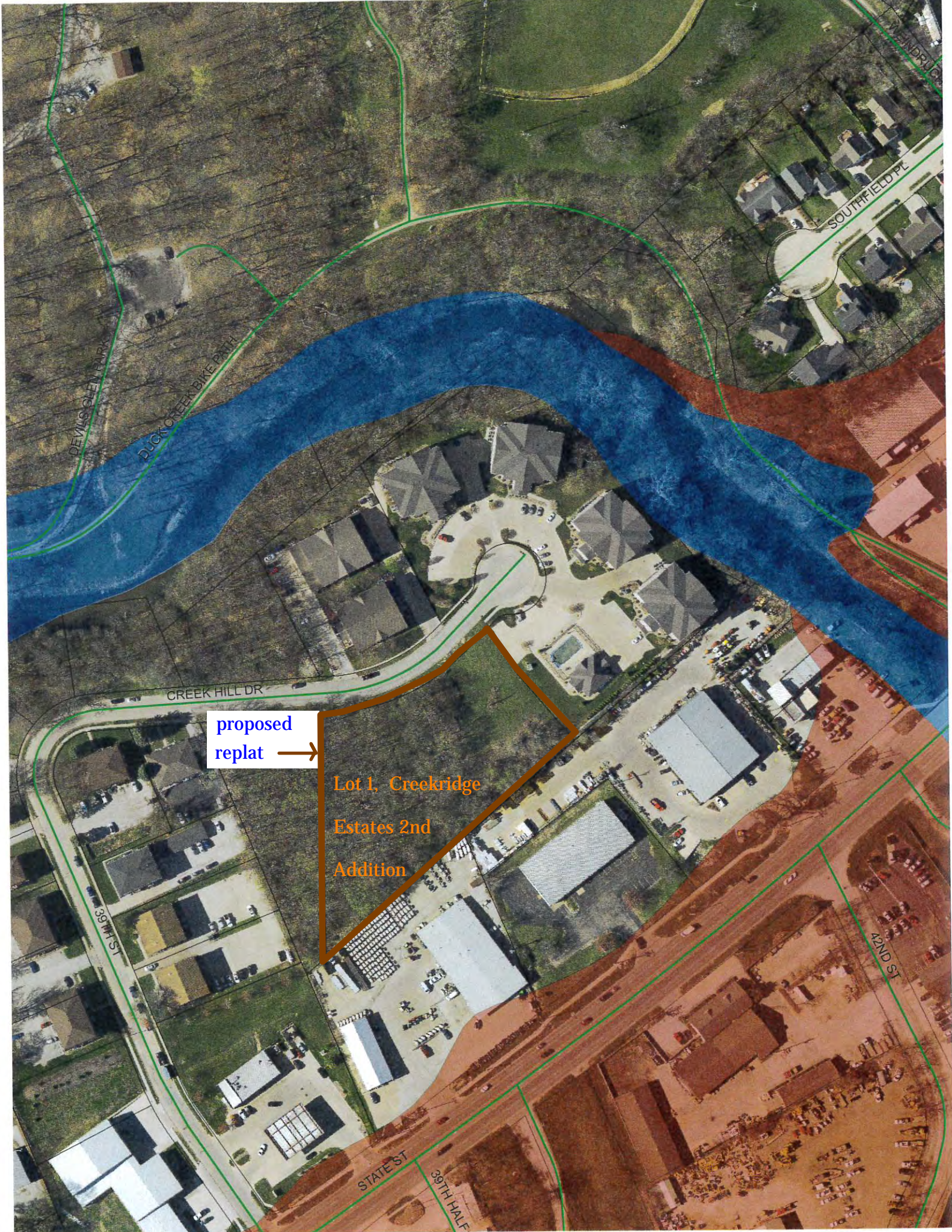
### **Recommended Action**

Staff recommends approval of the final plat subject to the following conditions:

1. This approval does not waive any other State, Federal, or Local government provisions as required by law.
2. Any future curb cuts to Creek Hill Drive for the proposed subdivision must be approved by the City Engineer.

Respectfully submitted,

Greg Beck  
City Planner



proposed  
replat →

Lot 1, Creekrige  
Estates 2nd  
Addition

# PLAT OF SUBDIVISION OF CREEK RIDGE ESTATES SECOND ADDITION

BEING A REPLAT OF LOT 2 OF CREEK RIDGE ESTATES,  
DOCUMENT NUMBER 2007-08827, TO THE CITY OF BETTENDORF,  
COUNTY OF SCOTT, STATE OF IOWA.

### OWNER/DEVELOPER

CREEK RIDGE, LLC C/O RUHL & RUHL  
1228 MIDDLE ROAD,  
BETTENDORF, IA 52722  
563-441-5229

### ZONING/LOT INFORMATION

CURRENT ZONING: R-5  
TOTAL NUMBER OF LOTS: 2  
TOTAL AREA: 5.032 ACRES  
WATER SUPPLY: PUBLIC  
SANITARY SEWER: PUBLIC  
STORM SEWER: PUBLIC/PRIVATE

### LOT INFORMATION

TOTAL NUMBER OF LOTS: 2  
TOTAL ACREAGE: 5.032 ACRES

### ATTORNEY

MIKE GORSLINE  
5119 UTICA RIDGE ROAD  
DAVENPORT, IA 52807  
563-324-0441

### LAND SURVEYOR

JAMES W. ABBITT, JR.  
McCLURE ENGINEERING ASSOC., INC.  
4700 KENNEDY DRIVE  
EAST MOLINE, ILLINOIS 61244  
309-792-9350

WE, Robert S. Gailagher, MAYOR, AND Decker P. Pridem,  
CITY CLERK OF THE CITY OF BETTENDORF, IOWA, DO HEREBY CERTIFY  
THAT THE FOLLOWING RESOLUTION WAS ADOPTED BY THE CITY COUNCIL  
OF THE CITY OF BETTENDORF, IOWA, AT A REGULAR MEETING HELD ON  
July 5, 2016:

RESOLVED BY THE CITY COUNCIL OF BETTENDORF, IOWA, THAT THE  
PLAT OF CREEK RIDGE ESTATES SECOND, AN ADDITION TO THE CITY OF  
BETTENDORF, IOWA, AS FILED WITH THE CITY CLERK BY CREEK RIDGE,  
LLC C/O RUHL & RUHL, BE THE SAME IS HEREBY APPROVED AND  
ACCEPTED; AND THE DEDICATION FOR PUBLIC STREET PURPOSES AND  
THE GRANTING OF EASEMENTS AND THE VACATION OF EXISTING  
EASEMENTS AS SHOWN ON SAID PLAT ARE ACCEPTED AND CONFIRMED  
AND THE MAYOR AND CITY CLERK OF SAID CITY BE AND THEY HEREBY  
ARE AUTHORIZED AND DIRECTED TO CERTIFY THE ADOPTION OF THIS  
RESOLUTION ON SAID PLAT AS REQUIRED BY LAW.

DATED AT BETTENDORF, IOWA, THIS 25th DAY OF  
August, 2016.

rs. Gailagher  
MAYOR OF THE CITY OF BETTENDORF, IOWA

ATTEST: Decker P. Pridem  
CITY CLERK

Paul A. Marshall  
PLANNING AND ZONING COMMISSION

THE FOLLOWING AS LISTED HAVE REVIEWED AND APPROVED THIS FINAL PLAT AND  
FOUND THAT SAID PLAT DOES MEET ALL THE MINIMUM UTILITY REQUIREMENTS.

BY: Mark Kowalski DATE: 7-27-16  
MID-AMERICAN ENERGY COMPANY  
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD

BY: [Signature] DATE: 7-27-2016  
CENTURY LINK

BY: [Signature] DATE: 7-27-16  
MEDIACOM

BY: [Signature] DATE: 7-27-16  
IOWA-AMERICAN WATER COMPANY

### NOTES:

- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF THE CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS, THE CODE REQUIREMENTS SHALL GOVERN.
- UTILITY EASEMENTS ARE FOR GAS, ELECTRIC, CABLE, AND TELEPHONE.
- A 4 FOOT WIDTH SIDEWALK SHALL BE CONSTRUCTED FOR LOT 1 ALONG CREEK HILL DRIVE AT THE TIME A BUILDING IS CONSTRUCTED. SIDEWALK ASSESSMENT WAIVER IS NEEDED FOR LOT 1 IN THE SUBDIVISION.
- BLANKET UNDERGROUND AND OVERHEAD EASEMENTS GRANTED FOR ELECTRIC TRANSFORMERS, PRIMARY ELECTRIC CABLE, SERVICE WIRES, GAS MAINS, AND GAS SERVICES

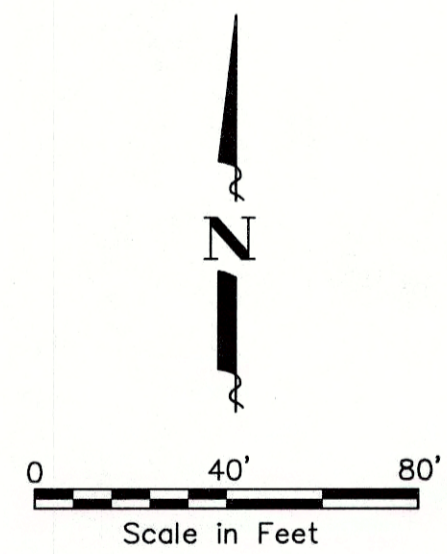
### NOTE:

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATED.

CHANGES IN THE PLAT WHICH AFFECT THE PLACEMENT OF UTILITY FACILITIES ARE TO BE REVIEWED AND APPROVED BY THE AFFECTED UTILITIES AND ANY CHANGES WHICH RESULT IN THE RELOCATION OF UTILITY FACILITIES SHALL BE AT THE EXPENSE OF THE PARTY REQUESTING THE CHANGE.

### BOUNDARY LEGEND

- SET 5/8" IRON ROD & GREEN PLASTIC CAP #18465
- △ FOUND CAPPED IRON ROD #13974
- BOUNDARY LINE
- (R) RECORD DISTANCE
- (M) MEASURED DISTANCE
- LOT LINE
- BUILDING SETBACK LINE (AS STATED)
- EASEMENT LINE
- EXISTING LOT LINE
- SECTION LINE
- EXISTING EASEMENT LINE
- EXISTING RIGHT OF WAY LINE

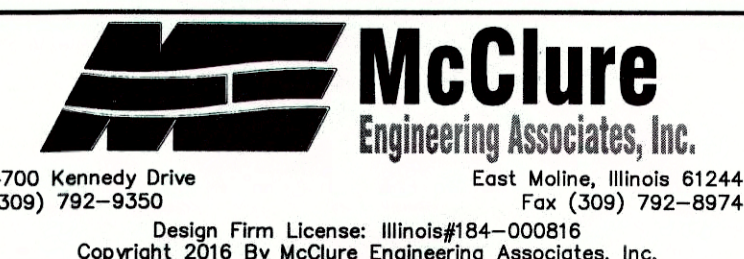


Prepared by & Return to: James W. Abbitt Jr., McClure Engineering Associates, Inc. 4700 Kennedy Drive, East Moline, Illinois 61244

Creek Ridge, LLC c/o Ruhl & Ruhl  
1228 Middle Road, Bettendorf, IA 52722

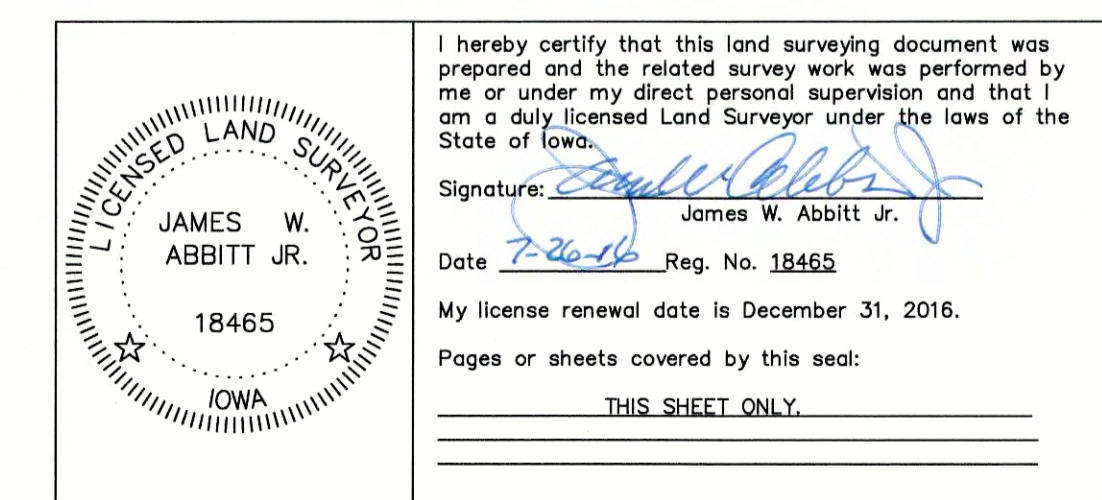
REVISIONS		
NO.	ITEM	DATE

PLOTTING SCALE:	1" = 1'
DRAWN BY:	JLR
CHECKED BY:	JWA
DATE:	6-7-16



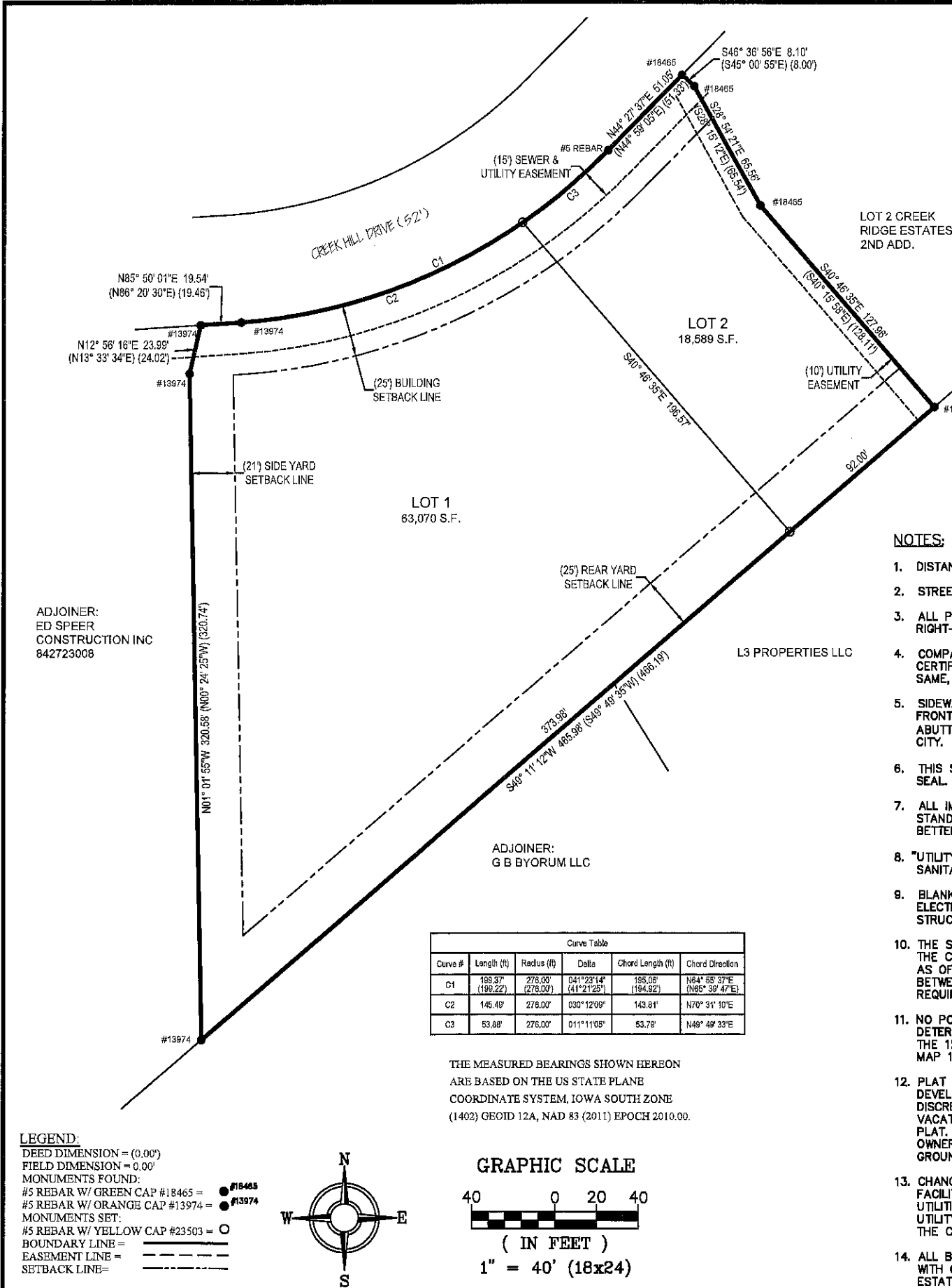
PLAT OF SUBDIVISION  
CREEK RIDGE ESTATES SECOND ADDITION BETTENDORF, IOWA  
FILE NAME: T:\ABE115.124\DWG\15124-SVY.dwg JOB NUMBER: 01-13-15-124

SHEET NO.  
1  
OF 1



# FINAL PLAT CREEK RIDGE ESTATES 3RD ADDITION

BEING A REPLAT OF LOT 1 OF CREEK RIDGE ESTATES 2ND ADDITION TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA, LOCATED IN PART OF THE EAST HALF OF SECTION 27, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., SCOTT COUNTY, IOWA.



### PLAT INFORMATION

- |   |   |
|---|---|
| <p>1. Owner:<br/>Dana Development LLC<br/>1016 Coffelt Ave<br/>Bettendorf, Iowa 52722</p> <p>2. Engineer:<br/>Townsend Engineering<br/>2224 East 12th Street<br/>Davenport, Iowa 52803<br/>Ph: (563) 386-4236</p> | <p>3. Surveyor:<br/>Michael D. Richmond<br/>2224 East 12th Street<br/>Davenport, Iowa 52803<br/>Ph: (563) 386-4236</p> <p>4. Attorney:<br/>Milissa Hofmann<br/>3425 E. Locust Str., Suite 201<br/>Davenport, Iowa 52803<br/>(563)326-4900</p> |
|---|---|

### NOTES:

1. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. STREET RADIUS AT ALL INTERSECTIONS SHALL BE 25 FEET.
3. ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
4. COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
5. SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES. INSTALLATION OF SIDEWALKS SHALL OCCUR WHEN THE ADJUTING PROPERTY (LOT) IS DEVELOPED OR WHEN SO ORDERED BY THE CITY.
6. THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.
7. ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR THE CITY OF BETTENDORF, IA.
8. "UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER, SANITARY SEWER AND COMMUNICATION LINES AS NEEDED.
9. BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
10. THE SUBJECT PROPERTY IS ZONED R-5 AT THE TIME OF ACCEPTANCE BY THE CITY. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
11. NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAP 19163C0386F, EFFECTIVE DATE FEBRUARY 18, 2011.
12. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
13. CHANGES IN THE PLAT WHICH AFFECT THE PLACEMENT OF UTILITY FACILITIES ARE TO BE REVIEWED AND APPROVED BY THE AFFECTED UTILITIES AND ANY CHANGES WHICH RESULT IN THE RELOCATION OF UTILITY FACILITIES SHALL BE AT THE EXPENSE OF THE PARTY REQUESTING THE CHANGE.
14. ALL BUILDING SETBACKS, RESTRICTIONS AND COVENANTS ESTABLISHED WITH CREEK RIDGE ESTATES 2ND ADDITION SHALL APPLY TO CREEK RIDGE ESTATES 3RD ADDITION.

### APPROVAL SIGNATURES:

MAYOR	DATE:
CITY CLERK	DATE:
CHAIRMAN PLAN & ZONE	DATE:
CENTURY LINK	DATE:
IOWA - AMERICAN WATER COMPANY	DATE:
MEDIACOM	DATE:
MIDAMERICAN ENERGY	DATE:
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.	

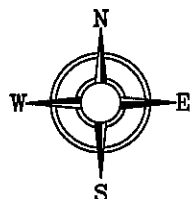
15. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
16. ALL STORM SEWER AND DRAINAGE EASEMENTS SHALL HAVE A BLANKET INGRESS/EGRESS EASEMENT.
17. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
18. NO INVESTIGATION OF EXISTING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE AND DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
19. NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONECALL AT 1-800-292-8889 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
20. NEW MONUMENTS WILL BE SET IN ACCORDANCE WITH RELEVANT IOWA CODE.

Curve Table					
Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	193.37 (193.22)	278.00 (278.00)	041°23'14" (41°23'25")	193.06 (194.92)	N64°55'37"E (N65°39'47"E)
C2	145.49	278.00	030°12'09"	143.81	N70°31'10"E
C3	53.88	278.00	011°11'08"	53.78	N49°49'33"E

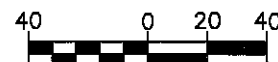
THE MEASURED BEARINGS SHOWN HEREBON ARE BASED ON THE US STATE PLANE COORDINATE SYSTEM, IOWA SOUTH ZONE (1402) GEOID 12A, NAD 83 (2011) EPOCH 2010.00.

### LEGEND:

- DEED DIMENSION = (0.00')
- FIELD DIMENSION = 0.00'
- MONUMENTS FOUND:
- #5 REBAR W/ GREEN CAP #18465 = ●
- #5 REBAR W/ ORANGE CAP #13974 = ●
- MONUMENTS SET:
- #5 REBAR W/ YELLOW CAP #23503 = ○
- BOUNDARY LINE = ———
- EASEMENT LINE = - - - - -
- SETBACK LINE = - - - - -



### GRAPHIC SCALE



( IN FEET )  
1" = 40' (18x24)

### ZONING & LOT INFORMATION

CURRENT ZONING: R-5  
TOTAL NUMBER OF LOTS: 2  
TOTAL SITE ACREAGE: 1.875 ACRES



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

MICHAEL D. RICHMOND  
Iowa License Number: 23503  
My license renewal date is December 31, 2021.  
Pages or sheets covered by this seal: 1

	DATE: 00/00/00	DRAWN BY: KLC	CHECKED BY: MDR	NO.	REVISIONS:	DATE	PROJECT	PREPARED FOR	SHEET NO.
			DRAWING LOCATION: S:\MCDEVIT\CREEK HILL				FINAL PLAT CREEK RIDGE ESTATES 3RD ADDITION BETTENDORF, IOWA	DANA DEVELOPMENT LLC 1016 COFFELT AVE BETTENDORF IA 52722	1 OF 1



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

April 15, 2020

Staff Report

**Case No. 20-018**

**Subdivision Name:** Spencer Hollow 4<sup>th</sup> Addition – Replat

**Applicant:** Kristin Crawford/IMEG

**Current Zoning Classification:** R-1, Single-family Residence District

**Land Use Designation:** Urban Light Intensity

**Background Information and Facts**

Kristin Crawford/IMEG has submitted the final plat of Spencer Hollow 4<sup>th</sup> Addition (property located just west of Criswell Street, east of Forest Grove Park, and north of Forest Grove Drive) (see Aerial Photo, Attachment A). The proposed subdivision is a replat of Lots 1-3 and 21-22, Spencer Hollow 3<sup>rd</sup> Addition and portions of the preliminary plat of Spencer Hollow 3<sup>rd</sup> Addition resulting in a 23 lot final plat of the south portion of the preliminary platted area (see Preliminary Plat, Final Plat, and Replat - Attachments B, C, and D).

**Land Use**

The land use designation for the site is Urban Light Intensity. The property is zoned R-1 Single-family Residence District. Single-family housing is intended for this site.

**Utilities**

Utilities are available along Forest Grove Drive and through connecting streets directed north. It is the developer's responsibility to connect to all utilities. Access to all other utilities borders the property. Sanitary sewer designs will require the approval of the City Engineer.

**Thoroughfare Plan/Access**

Access to the site is from Forest Grove Drive. A 64-foot wide right-of-way is provided by the developer with 43-foot wide paving, as Spring Creek Drive will serve the entire proposed development.

**Storm Water Detention**

Storm water detention shall be constructed on Lot A and Lot C.

**Recommended Action**

Staff recommends the Planning and Zoning Commission support approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Plat documents shall carry over all obligations from Spencer Hollow 3<sup>rd</sup> Addition.

Respectfully submitted,

Greg Beck  
City Planner

Proposed

Fifth Add

SAINT-MARIE CT  
ALVIE LN

Proposed Fourth

Add

R-1, Single Family  
Residence Dist

SPRING CREEK DR

SAINT ANN DR

ALVIE LN

LANCASTER DR

WELLINGTON CT

JOSEPH WAY

NOTTINGHAM LN

FOREST GROVE DR

SUMMERFIELD DR

Urban  
Residence



**LEGEND**

- FOUND CAPPED IRON ROD #18465
- SET CAPPED IRON ROD #18465
- BOUNDARY LINE
- DEED OR PLATTED
- MEASURED
- BUILDING SETBACK LINE (VARIES)
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING LOT LINE
- PROPOSED 8" SANITARY SEWER
- PROPOSED 6" WATER MAIN
- PROPOSED 15" STORM SEWER
- PROPOSED 4" FORCEMAIN



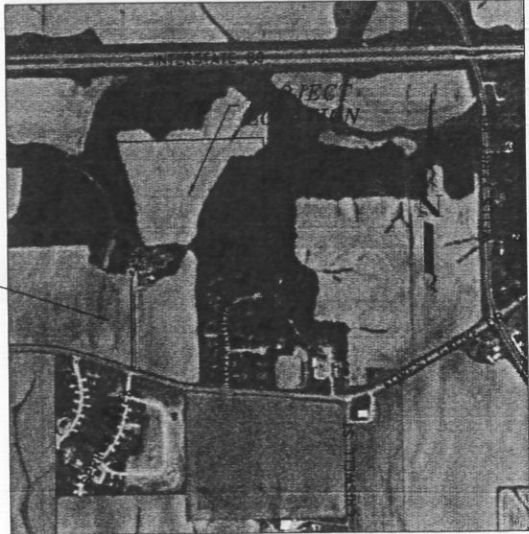
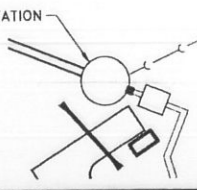
**ZONING AND LOT INFORMATION**

CURRENT ZONING: R-1  
 TOTAL NUMBER OF LOTS: 67  
 TOTAL ACREAGE OF LOTS: 26.240 ACRES  
 TOTAL R.O.W. ACREAGE: 4.211 ACRES  
 TOTAL SITE ACREAGE: 30.451 ACRES

- R-1 RESTRICTIONS:**
- FRONT SETBACK: MIN. 30 FEET +
  - SIDE SETBACK: MIN. 5 FEET (SUM OF 20 FEET)
  - REAR SETBACK: MIN. OF 40 FEET
  - HEIGHT RESTRICTION: PRINCIPAL STRUCTURE, 1-1/2 STORIES (35')  
 ACCESSORY STRUCTURE, 1 STORY (15')
  - LOT SIZE RESTRICTIONS: 10,000 S.F. MIN., 75' LOT WIDTH
  - FLOOR AREA RATIO: NOT TO EXCEED 0.4
  - MINIMUM DWELLING SIZE: OCCUPIED DWELLINGS SHALL CONTAIN AT LEAST 1,200 S.F. (1 STORY), 1,400 S.F. (2 STORY)

**EASEMENT LEGEND**

- \*1 - SANITARY SEWER EASEMENT
- \*2 - STORM SEWER EASEMENT
- \*3 - WATER MAIN EASEMENT
- \*4 - RECREATIONAL TRAIL EASEMENT
- \*5 - STORM SEWER & REC. TRAIL EASEMENT



**PROJECT LOCATION MAP**

**NOTES:**

1. LOTS 67, 68 & 69 SHALL HAVE BLANKET UTILITY, STORM SEWER AND DRAINAGE EASEMENTS. THEIR PURPOSE IS FOR STORM WATER DETENTION.
2. STORM & SANITARY SEWERS SHALL BE OWNED AND MAINTAINED BY THE CITY OF BETTENDORF. WATER MAINS, HYDRANTS AND OTHER FIXTURES SHALL BE OWNED AND MAINTAINED BY IOWA AMERICAN WATER COMPANY.
3. ON SECTIONS OF STRAIGHT STREETS OR CURVED STREETS WITH A RADIUS OF 600' OR MORE, WHERE MORE THAN 3 LOTS ARE BEING SUBDIVIDED OR BUILT UPON BY ONE INDIVIDUAL OR CONCERN, AT LEAST 33% OF THE LOTS HAVE A SETBACK OF 35', 17% TO BE 40'. ALSO, NO MORE THAN 3 CONTIGUOUS LOTS SHALL HAVE THE SAME SETBACK. SETBACKS NOT SHOWN ON PLAT FOR CLARITY PURPOSES.
4. SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES. INSTALLATION OF SIDEWALKS SHALL OCCUR WHEN THE ADJUTING PROPERTY (LOT) IS DEVELOPED OR WHEN SO ORDERED BY THE CITY.
5. NO PART OF SUBDIVISION LIES WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAPS.
6. ALL LANDSCAPING WILL BE COMPLIANT WITH THE CITY OF BETTENDORF LANDSCAPE ORDINANCE, AND SHALL BE INSTALLED PRIOR TO CITY COUNCIL ACCEPTANCE OF SUBDIVISION IMPROVEMENTS.
7. LOTS 67, 68 & 69 OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
8. ALL EASEMENTS CONGRUENT WITH RIGHTS-OF-WAYS ARE WATER, SANITARY & UTILITY EASEMENTS. ALL EASEMENTS ALONG LOT LINES ARE STORM SEWER AND DRAINAGE EASEMENTS.
9. LOTS 67, 68 & 69 MAY NOT OUTLET STORM WATER UNTIL THE DETENTION AND STORM WATER DISPERSION DESIGNS ARE APPROVED BY THE CITY ENGINEER.

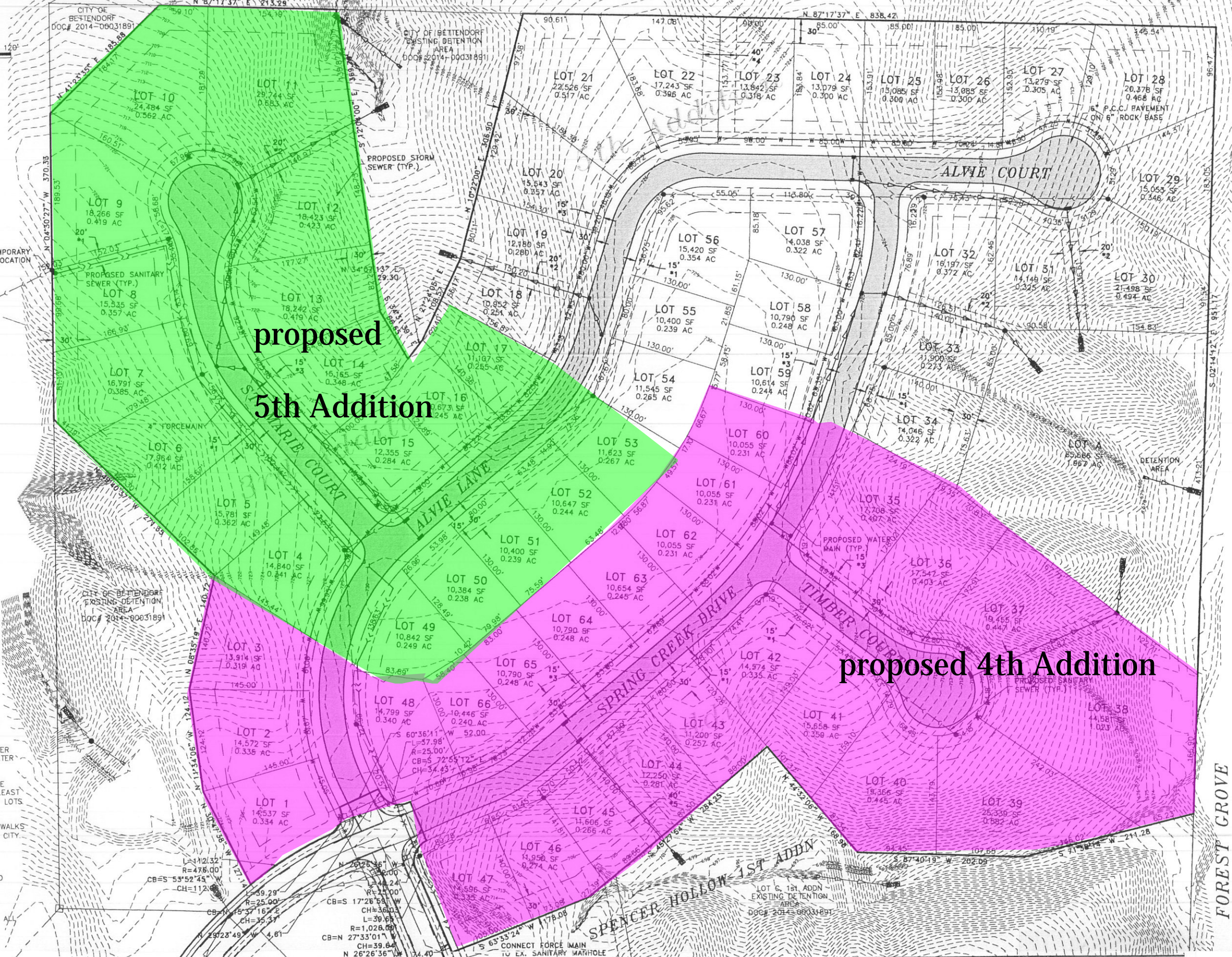
# Preliminary Plat of SPENCER HOLLOW 3RD ADDITION

Part of Section 11, Township 78 North, Range 4 East of the 5th Principal Meridian,  
 City of Bettendorf, County of Scott, State of Iowa.

**LAND SURVEYOR**  
 JAMES W. ABBITT, JR., L.S.  
 MCCLURE ENGINEERING ASSOCIATES, INC.  
 4700 KENNEDY DRIVE  
 EAST MOLINE, IL 61244

**OWNER/DEVELOPER**  
 VEN GREEN LAND DEVELOPMENT L.L.C.  
 2900 MCKINNON, UNIT 1005  
 DALLAS TX. 75201

**ATTORNEY**  
 GREG JAGER  
 PASTRNAK LAW FIRM, P.C.  
 313 W. THIRD STREET  
 DAVENPORT, IOWA 52801  
 563-323-7737



proposed  
 5th Addition

proposed 4th Addition

FOREST GROVE PROPERTIES LLC





Four CURVE TABLES providing detailed data for circular curves, including curve number, length, radius, chord bearing, and chord distance.

LINE TABLE listing 17 line segments with their respective bearings and distances.

PRELIMINARY FOR REVIEW PURPOSES ONLY 04-07-2020

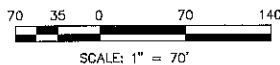
WEST LOTS AREA TABLE listing area in square feet and acres for lots 1 through 10.

EAST LOTS AREA TABLE listing area in square feet and acres for lots 11 through 23.

FINAL PLAT OF SPENCER HOLLOW 4TH ADDITION

OWNER / SUBDIVIDER VEN GREEN LAND DEVELOPMENT LLC. 2900 MCKINNON UNIT 1005 DALLAS, TEXAS 75201

BASIS OF BEARING IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD 83 (111 ADJUSTMENT)



LEGEND

- 5/8" REBAR WITH CAP #13651 SET
  - SUBDIVISION BOUNDARY
  - EXISTING LOT LINE
  - PROPOSED LOT LINE
  - EXISTING R.O.W. LINE
  - EXISTING SETBACK LINE
  - PROPOSED SETBACK LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
- ABBREVIATIONS
- AC ACRES
  - SF SQUARE FEET
  - BSL BUILDING SETBACK LINE
  - P.O.B. POINT OF BEGINNING
  - ROW RIGHT OF WAY
  - UE UTILITY EASEMENT

GENERAL NOTES

This Final Plat was prepared at the request of, and for the exclusive use of Ven Green Land Development, LLC. It should be noted that in the record of this re-survey, the courses and distances of the re-survey may vary from recorded calls, based on the existence of found monumentation, occupation, or other controlling calls or conditions that have occurred in the re-survey of this property.

The property is subject to any and all easements and roadways of record. No investigation concerning environmental and subsurface conditions, or for the existence of underground containers, structures or facilities which may affect the use or development of this property was made as a part of this survey.

Blanket underground easements granted for all primary and secondary electric cables, pad mounted transformers, electric transformers, primary cable, gas service, water service, sewer laterals, telephone service and cable T.V. to individual structures and street lights. Easements designated as "Utility Easements" include all utilities that are provided by either the city of Bettendorf or those companies authorized to provide public utilities within the city of Bettendorf. This includes Sanitary & Storm Sewers and Watermains.

IOWA - AMERICAN WATER CO.  
BY \_\_\_\_\_  
DATE \_\_\_\_\_  
CITY OF BETTENDORF  
BY \_\_\_\_\_  
ATTEST \_\_\_\_\_  
DATE \_\_\_\_\_  
PLANNING AND ZONING  
BY \_\_\_\_\_  
DATE \_\_\_\_\_  
MID AMERICAN ENERGY CO.  
BY \_\_\_\_\_  
DATE \_\_\_\_\_  
MEDIACOM  
BY \_\_\_\_\_  
DATE \_\_\_\_\_  
CENTURYLINK  
BY \_\_\_\_\_  
DATE \_\_\_\_\_

REVISIONS table with columns for No., Description, and Date.



SPENCER HOLLOW 4TH ADDITION BETTENDORF, IOWA FINAL PLAT

IMEG Project No: 18000192.01  
File Name: 18000192.01\_4thAddition-Plat.dwg  
© COPYRIGHT 2020 ALL RIGHTS RESERVED  
Drawn By: ###  
Checked By: \*\*\*  
Date: 3/27/2020  
Sheet 1 of 1



I hereby certify that this land surveying document was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.  
DARYLA FORKE, P.L.S. No. 2691  
My Exp. Date is December 31, 2021  
04-07-2020  
No. of sheets covered by this seal: \_\_\_\_\_

Traverse Acc'd 7.6200 4.626 25 PM  
25 2020 10:00:00 AM  
L=138.75  
R=476.00  
C=138.75  
CH=138.75



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

April 15, 2020

Staff Report

### **Case No. 20-019**

**Subdivision Name:** Spencer Hollow 5<sup>th</sup> Addition – Replat

**Applicant:** Kristin Crawford/IMEG

**Current Zoning Classification:** R-1, Single-family Residence District

**Land Use Designation:** Urban Light Intensity

### **Background Information and Facts**

Kristin Crawford/IMEG has submitted the final plat of Spencer Hollow 5<sup>th</sup> Addition (property located just west of Criswell Street, east of Forest Grove Park, and north of Forest Grove Drive) (see Aerial Photo, Attachment A). The proposed subdivision is a replat of Lots 4-20, Spencer Hollow Addition and portions of the preliminary plat of Spencer Hollow 3<sup>rd</sup> Addition resulting in a 19 lot final plat of the west portion of the preliminary platted area (see Preliminary Plat, Final Plat, and Replat - Attachments B, C, and D).

### **Land Use**

The land use designation for the site is Urban Light Intensity. The property is zoned R-1 Single-family Residence District. Single-family housing is intended for this site.

### **Utilities**

Utilities are available along Forest Grove Drive and through connecting streets directed north. It is the developer's responsibility to connect to all utilities. Access to all other utilities borders the property. Sanitary sewer designs will require the approval of the City Engineer.

### **Thoroughfare Plan/Access**

Access to the site is from Forest Grove Drive. A 64-foot wide right-of-way is provided by the developer with 43-foot wide paving, as Alvie Lane and St. Marie Court will serve the entire proposed development. Outlots to the northeast and southwest shall accommodate storm water.

**Storm Water Detention**

Storm water detention shall be constructed in Lot 1, Forest Grove Park 2<sup>nd</sup> Addition and Lot D, Spencer Hollow 1<sup>st</sup> Addition.

**Recommended Action**

Staff recommends the Planning and Zoning Commission support approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Plat documents shall carry over all obligations from Spencer Hollow 3<sup>rd</sup> Addition.

Respectfully submitted,

Greg Beck  
City Planner

Proposed

Fifth Add

SAINT-MARIE CT  
ALVIE LN

Proposed Fourth

Add

R-1, Single Family  
Residence Dist

SPRING CREEK DR

SAINT ANN DR

ALVIE LN

LANCASTER DR

WELLINGTON CT

JOSEPH WAY

NOTTINGHAM LN

FOREST GROVE DR

SUMMERFIELD DR

1/Urban  
R  
e

**LEGEND**

- FOUND CAPPED IRON ROD #18465
- SET CAPPED IRON ROD #18465
- BOUNDARY LINE
- DEED OR PLATTED
- MEASURED
- BUILDING SETBACK LINE (VARIES)
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENT
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- PROPOSED 6" WATER MAIN
- PROPOSED 15" STORM SEWER
- PROPOSED 4" FORCEMAIN



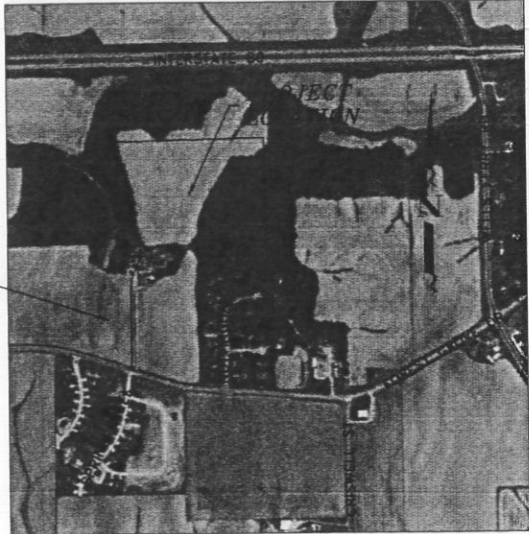
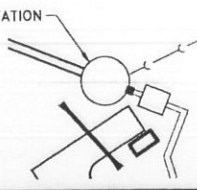
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- \*2 - STORM SEWER EASEMENT
- \*3 - WATER MAIN EASEMENT
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**PROJECT LOCATION MAP**

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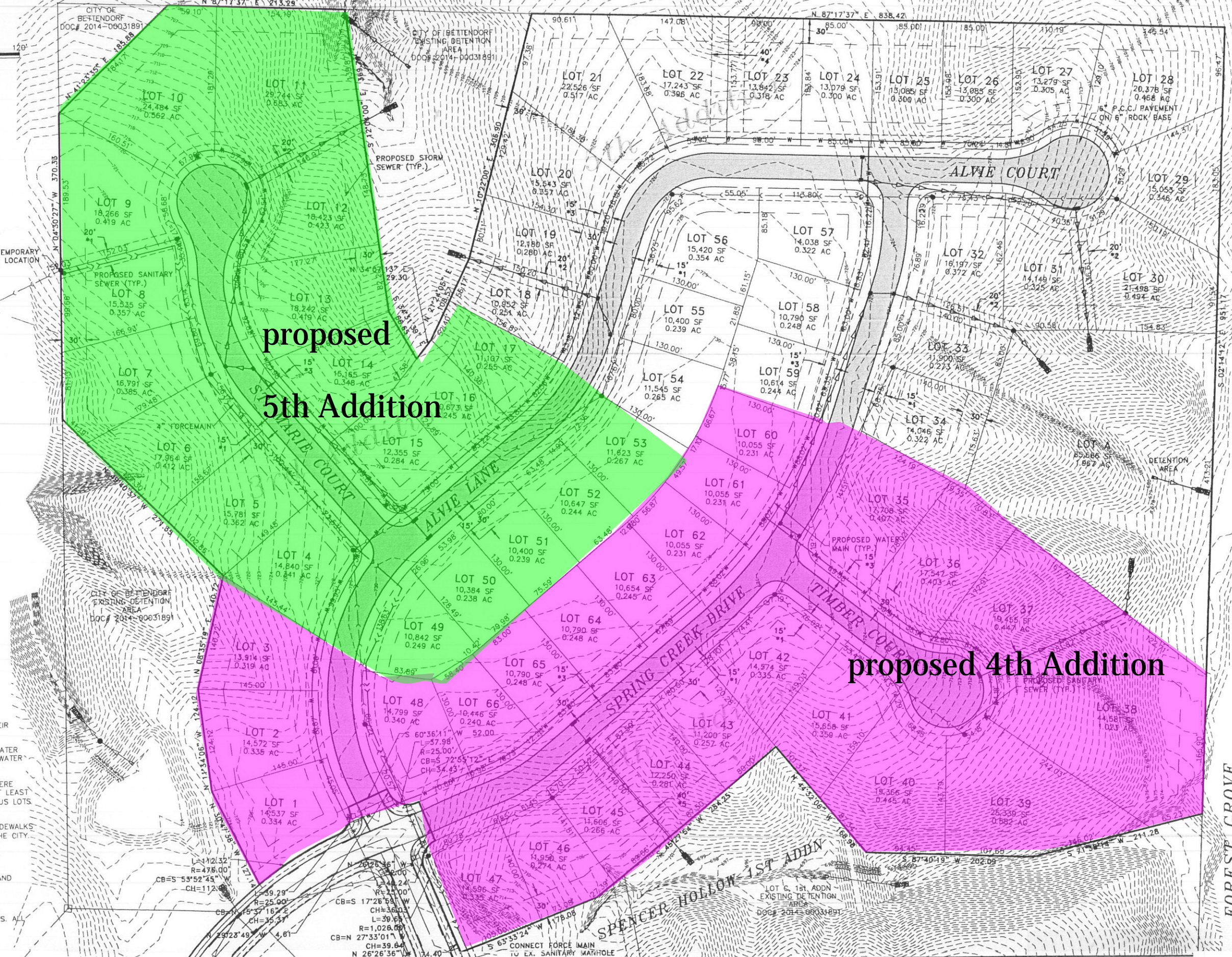
# Preliminary Plat of SPENCER HOLLOW 3RD ADDITION

Part of Section 1, Township 78 North, Range 4 East of the 5th Principal Meridian,  
 City of Bettendorf, County of Scott, State of Iowa.

**LAND SURVEYOR**  
 JAMES W. ABBITT, JR., L.S.  
 MCCLURE ENGINEERING ASSOCIATES, INC.  
 4700 KENNEDY DRIVE  
 EAST MOLINE, IL 61244

**OWNER/DEVELOPER**  
 VEN GREEN LAND DEVELOPMENT L.L.C.  
 2900 MCKINNON, UNIT 1005  
 DALLAS TX. 75201

**ATTORNEY**  
 GREG JAGER  
 PASTRNAK LAW FIRM, P.C.  
 313 W. THIRD STREET  
 DAVENPORT, IOWA 52801  
 563-323-7737



**proposed  
 5th Addition**

**proposed 4th Addition**

FOREST GROVE PROPERTIES LLC



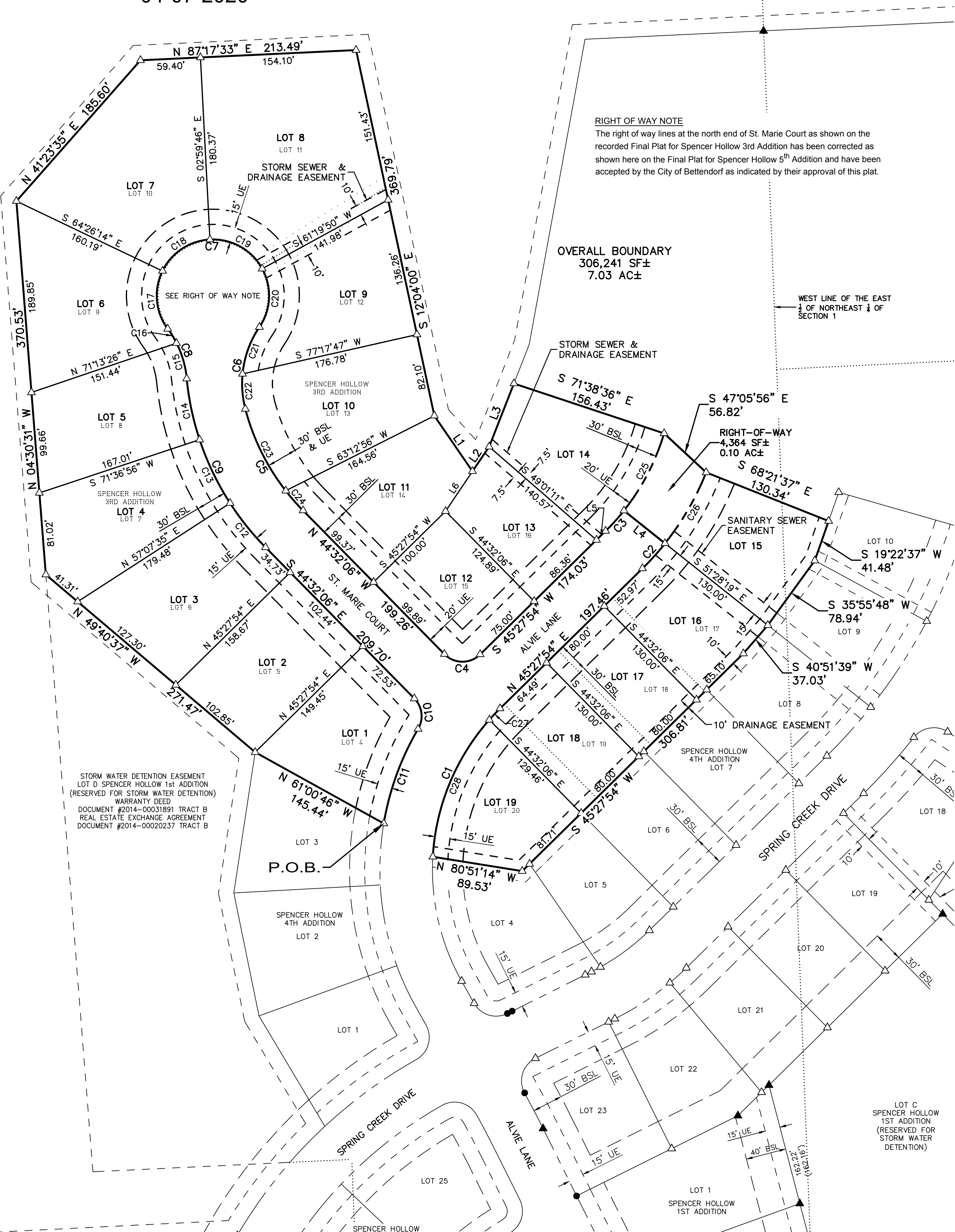
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DISTANCE
C1	164.69'	224.00'	N 24°24'10" E	161.00'
C2	33.42'	276.00'	N 41°59'47" E	33.40'
C3	27.12'	224.00'	S 41°59'47" W	27.10'
C4	39.27'	25.00'	N 89°32'06" W	35.36'
C5	116.79'	224.00'	N 29°35'56" W	115.47'
C6	84.68'	99.50'	N 09°43'01" E	82.14'
C7	242.54'	55.50'	S 88°54'12" W	90.71'
C8	53.37'	99.50'	S 20°55'24" E	52.73'
C9	187.76'	276.00'	S 25°02'46" E	184.16'
C10	32.67'	25.00'	S 07°06'03" E	30.39'
C11	99.95'	276.00'	S 19°57'32" W	99.41'
C12	56.17'	276.00'	S 38°42'16" E	56.08'
C13	69.80'	276.00'	S 25°37'45" E	69.61'
C14	61.79'	276.00'	S 11°58'15" E	61.66'
C15	36.75'	99.50'	S 16°08'16" E	36.54'
C16	16.62'	99.50'	S 31°30'14" E	16.60'
C17	60.40'	55.50'	S 05°06'38" E	57.47'
C18	59.04'	55.50'	S 56°32'42" W	56.30'
C19	62.29'	55.50'	N 04°49'27" W	59.07'
C20	60.80'	55.50'	N 02°42'49" E	57.80'
C21	49.69'	99.50'	N 19°47'24" E	49.18'
C22	34.99'	99.50'	N 04°35'23" W	34.81'
C23	90.81'	224.00'	N 26°16'35" W	90.19'
C24	25.98'	224.00'	N 41°12'45" W	25.96'
C25	86.66'	224.00'	S 27°28'42" W	86.12'
C26	81.35'	276.00'	N 30°05'02" E	81.06'
C27	15.52'	224.00'	N 43°28'48" E	15.52'
C28	149.17'	224.00'	N 22°25'04" E	146.42'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 34°31'39" E	66.65'
L2	N 34°07'13" E	29.30'
L3	N 21°24'05" E	67.17'
L4	N 51°28'19" W	52.00'
L5	S 45°27'54" W	12.67'
L6	S 33°57'48" W	47.60'

AREA TABLE		
LOT	AREA S.F.±	AREA AC.±
LOT 1	14,840 SF±	0.34 AC±
LOT 2	15,781 SF±	0.36 AC±
LOT 3	17,964 SF±	0.41 AC±
LOT 4	16,798 SF±	0.39 AC±
LOT 5	15,531 SF±	0.36 AC±
LOT 6	18,093 SF±	0.42 AC±
LOT 7	24,597 SF±	0.56 AC±
LOT 8	30,773 SF±	0.71 AC±
LOT 9	17,228 SF±	0.40 AC±
LOT 10	18,219 SF±	0.42 AC±
LOT 11	15,169 SF±	0.35 AC±
LOT 12	12,355 SF±	0.28 AC±
LOT 13	10,760 SF±	0.25 AC±
LOT 14	14,644 SF±	0.34 AC±
LOT 15	13,203 SF±	0.30 AC±
LOT 16	12,247 SF±	0.28 AC±
LOT 17	10,400 SF±	0.24 AC±
LOT 18	10,397 SF±	0.24 AC±
LOT 19	12,877 SF±	0.30 AC±
RIGHT OF WAY	4,364 SF±	0.10 AC±
TOTAL AREA	306,241 SF±	7.03 AC±

**PRELIMINARY**  
FOR REVIEW PURPOSES ONLY  
04-07-2020

LOT 1  
FOREST GROVE PARK 2ND ADDITION



**RIGHT OF WAY NOTE**  
The right of way lines at the north end of St. Marie Court as shown on the recorded Final Plat for Spencer Hollow 3rd Addition has been corrected as shown here on the Final Plat for Spencer Hollow 5th Addition and have been accepted by the City of Bettendorf as indicated by their approval of this plat.

**OVERALL BOUNDARY**  
306,241 SF±  
7.03 AC±

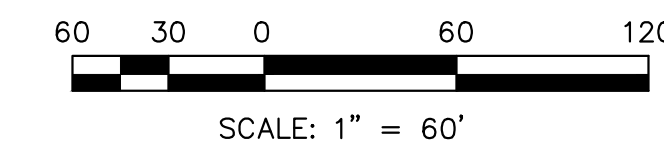
WEST LINE OF THE EAST 1/4 OF NORTHEAST 1/4 OF SECTION 1

**FINAL PLAT OF  
SPENCER HOLLOW 5TH ADDITION**

A RE-SUBDIVISION OF LOTS 4 THROUGH 20 IN SPENCER HOLLOW 3RD ADDITION AND A SUBDIVISION OF PART OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF BETTENDORF, COUNTY OF SCOTT, STATE OF IOWA

OWNER / SUBDIVIDER  
**VEN GREEN LAND DEVELOPMENT LLC.**  
2900 MCKINNON UNIT 1005  
DALLAS, TEXAS 75201

BASIS OF BEARING  
IOWA STATE PLANE COORDINATE SYSTEM,  
SOUTH ZONE NAD 83 (2011 ADJUSTMENT)



**LEGEND**

- △ 5/8" REBAR WITH CAP #13581 SET
- SUBDIVISION BOUNDARY
- EXISTING LOT LINE
- PROPOSED LOT LINE
- - - EXISTING R.O.W. LINE
- - - EXISTING SETBACK LINE
- - - PROPOSED SETBACK LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE

**ABBREVIATIONS**

- AC ACRES
- SF SQUARE FEET
- BSL BUILDING SETBACK LINE
- POB POINT OF BEGINNING
- ROW RIGHT OF WAY
- UE UTILITY EASEMENT

**GENERAL NOTES**

This Final Plat was prepared at the request of, and for the exclusive use of Ven Green Land Development, LLC.

It should be noted that in the performance of this re-survey, the courses and distances of the re-survey may vary from recorded calls, based on the existence of found monumentation, occupation, or other controlling calls or conditions that have occurred in the re-survey of this property.

This property is subject to any and all easements and roadways of record.

No investigation concerning environmental and subsurface conditions, or for the existence of underground containers, structures or facilities which may affect the use or development of this property was made as a part of this survey.

No investigation was made as apart of this survey to determine or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal facilities, except as noted. Call Iowa One-Call at 1-800-292-8989 for information regarding these utilities or facilities.

No part of this subdivision is subject to a Special Flood Hazard Area as designated by FEMA on Community Firm Map No. 19163C0377F with an Effective Date February 18, 2011.

Distances are listed in feet and decimal part of a foot.

All monuments have been found or are or will be set as shown on this plat by December 31st 2020.

Plat notes establish requirements for how a subdivision will develop. However, the city reserves the right in its sole discretion to alter or amend any plat note, or to sell or vacate any right of way or utility dedicated within the plat. Further the city reserves the right upon request of the owner to relocate any easement, alter lot boundaries or allow ground to be replatted.

Blanket underground easements granted for all primary and secondary electric cables, pad mounted transformers, electric transformers, primary cable, gas service, water service, sewer laterals, telephone service and cable T.V. to individual structures and street lights.

Easements designated as "Utility Easements" include all utilities that are provided by either the city of Bettendorf or those companies authorized to provide public utilities within the city of Bettendorf. This includes Sanitary & Storm Sewers and Watemains.

All Storm Sewer and Drainage Easements shall have a Blanket Ingress/Egress Easement.

IOWA - AMERICAN WATER CO.

BY \_\_\_\_\_  
DATE \_\_\_\_\_

CITY OF BETTENDORF

BY \_\_\_\_\_  
DATE \_\_\_\_\_

PLANNING AND ZONING

BY \_\_\_\_\_  
DATE \_\_\_\_\_

MID AMERICAN ENERGY CO.

BY \_\_\_\_\_  
DATE \_\_\_\_\_

MEDIACOM

BY \_\_\_\_\_  
DATE \_\_\_\_\_

CENTURYLINK

BY \_\_\_\_\_  
DATE \_\_\_\_\_

REVISIONS	
NO.	DESCRIPTION
1	REVISED PER CITY COMMENTS
DATE	4/7/2020



SPENCER HOLLOW 5TH ADDITION  
BETTENDORF, IOWA

FINAL PLAT

IMEG Project No:  
18000192.01

File Name:  
18000192.01 5thAddition-Plat.dwg

© COPYRIGHT 2020  
ALL RIGHTS RESERVED

Field Book No: #####

Drawn By: DAB

Checked By: \*\*\*

Date: 3/27/2020

Sheet 1 of 1

**PRELIMINARY**  
**FOR REVIEW PURPOSES ONLY**

I hereby certify that this land surveying document was prepared and filed in accordance with the laws of Iowa and under my professional seal as a duly Licensed Land Surveyor under the laws of the State of Iowa.

Daryl A. Bricker, PLS No. 43661 Date  
My Commission Expires December 31, 2021  
No. of sheets covered by this seal: \_\_\_\_\_





## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

April 15, 2020

Staff Report

### **Case No. 20-008**

**Location:** 4465 - 53<sup>rd</sup> Avenue – Site Development Plan

**Applicant:** Windmill Design Build

**Current Land Use Designation:** Urban Medium Intensity

**Current Zoning Classification:** C-1, Neighborhood Commercial District

### **Background Information and Facts**

Windmill Design Build has submitted a site development plan for 4465 - 53<sup>rd</sup> Avenue (see Aerial Photo - Attachment A). A commercial building is proposed on Lot 1, Shops of the Woodlands (see Final Plat - Attachment B). The proposed 9,857 square foot building will potentially house a variety of retail businesses and offices (see Site and Utility Plans - Attachments C and D). The landscaping meets ordinance requirements. The elevations show a 7-unit building (see Elevations - Attachment E). On March 12, the Board of Adjustment granted a variance reducing the required 20-foot setback to 15 feet to allow parking in the required front yard adjacent to 53<sup>rd</sup> Avenue.

### **Land Use**

The land use designation for Shops of the Woodlands is Urban Medium Intensity. The lot is zoned C-1, Neighborhood Commercial District which permits lower intensity commercial uses.

### **Utilities**

Utilities are available to the site. It is the property owner's responsibility to connect to all utilities.

### **Thoroughfare Plan/Access**

Access for this lot is from Ontario Drive only.

### **Storm Water Detention**

Storm water detention is required and was approved by the City Engineer as part of a regional system.

### Recommended Action

Staff recommends the Planning and Zoning Commission recommend approval of the site development plan subject to the following conditions:

1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. Verify transformer retaining wall construction with MidAmerican prior to issuance of any building permits.
3. All parking requirements will be enforced based on the final buildout occupancy type of each unit.

Respectfully submitted,

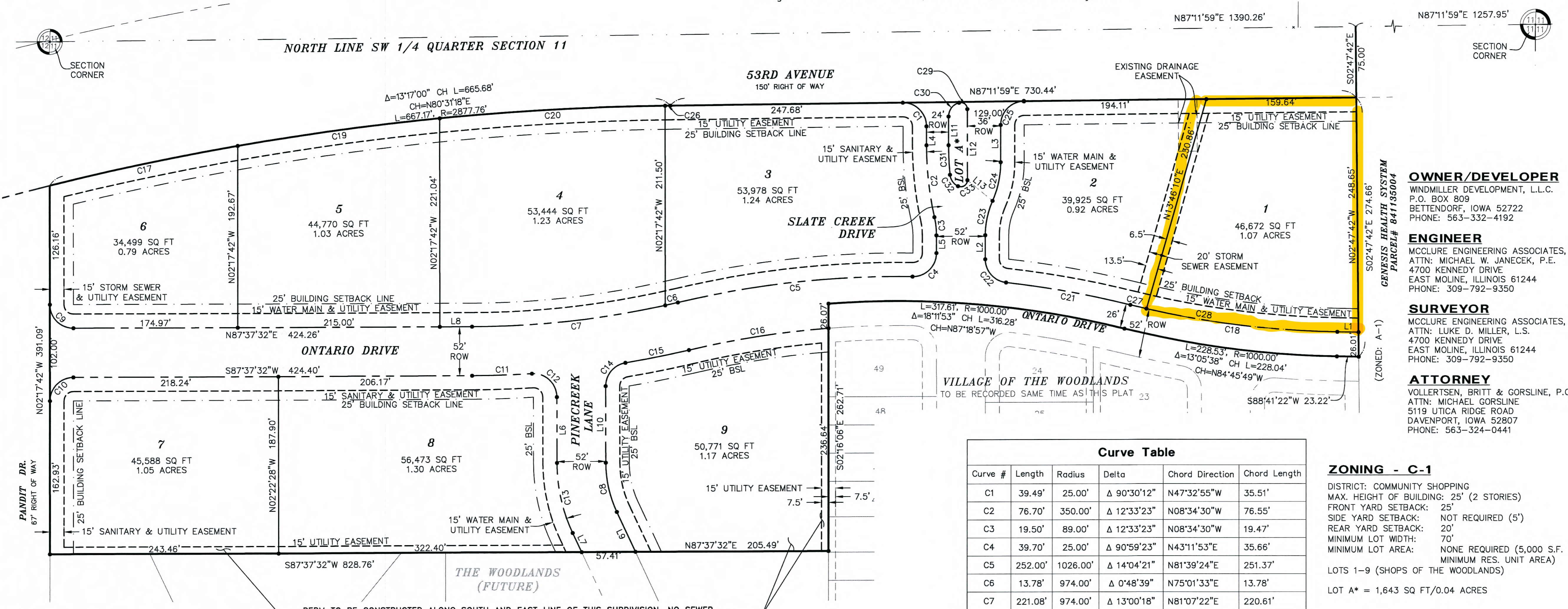
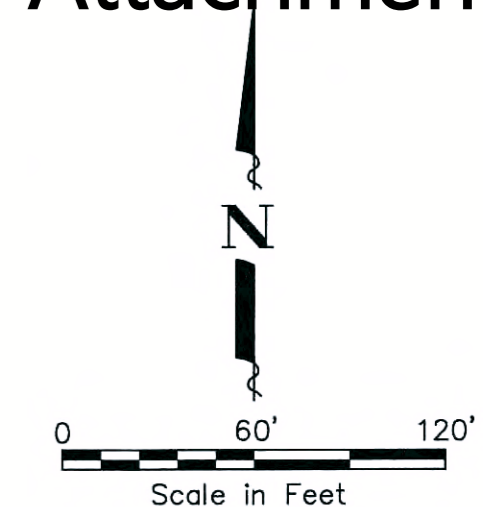
Greg Beck  
City Planner

Use:  
Non-  
dental  
Fig: PR-3



PLAT OF SUBDIVISION SHOPS OF THE WOODLANDS

CITY OF BETTENDORF, IOWA Part of the Southwest Quarter of Section 11, Township 78 North, Range 4 East of the 5th PM, Bettendorf, in Scott County, Iowa



OWNER/DEVELOPER: WINDMILLER DEVELOPMENT, L.L.C. ENGINEER: MCCLURE ENGINEERING ASSOCIATES, INC. SURVEYOR: MCCLURE ENGINEERING ASSOCIATES, INC. ATTORNEY: VOLLERTSEN, BRITT & GORSLINE, P.C.

MID AMERICAN ENERGY COMPANY BY: [Signature] DATE: 5/1/17 IOWA-AMERICAN WATER COMPANY BY: [Signature] DATE: 5/1-17 CENTURYLINK BY: [Signature] DATE: 5/1/17 MEDIACOM BY: [Signature] DATE: 5/1/17

Curve Table with columns: Curve #, Length, Radius, Delta, Chord Direction, Chord Length. Lists curves C1 through C33.

ZONING - C-1 DISTRICT: COMMUNITY SHOPPING MAX. HEIGHT OF BUILDING: 25' (2 STORIES) FRONT YARD SETBACK: 25' SIDE YARD SETBACK: NOT REQUIRED (5') REAR YARD SETBACK: 20' MINIMUM LOT WIDTH: 70' MINIMUM LOT AREA: NONE REQUIRED (5,000 S.F. MINIMUM RES. UNIT AREA)

SURVEYOR NOTES: THIS PLAT WAS PREPARED AT THE REQUEST OF WINDMILLER DEVELOPMENT, L.L.C., P.O. BOX 809, BETTENDORF, IOWA 52722. CONTACT REED WINDMILLER. IT SHOULD BE NOTED THAT IN THE PERFORMANCE OF THIS SURVEY, THE COURSES AND DISTANCES OF THE SURVEY MAY VARY FROM RECORDED CALLS, BASED ON THE EXISTENCE OF FOUND MONUMENTATION, OCCUPATION, OR OTHER CONTROLLING CALLS OR CONDITIONS THAT HAVE BEEN DISCOVERED DURING THE SURVEY OF THIS PROPERTY.

- NOTES: 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR THE CITY OF BETTENDORF, IA. STORM SEWER AND SANITARY SEWER SHALL BE MAINTAINED BY THE CITY OF BETTENDORF. WATER MAIN SHALL BE MAINTAINED BY THE IOWA AMERICAN WATER COMPANY. 2. STREET RADIUS AT ALL INTERSECTIONS SHALL BE 25'. 3. SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES...

RESOLVED BY THE CITY COUNCIL OF BETTENDORF, IOWA, THAT THE PLAT OF SHOPS OF THE WOODLANDS, AN ADDITION TO THE CITY OF BETTENDORF, IOWA, AS FILED WITH THE CITY CLERK BY WINDMILLER DEVELOPMENT, L.L.C., BE THE SAME AS HEREBY APPROVED AND ACCEPTED...

Parcel Line Table with columns: Line #, Length, Direction. Lists lines L1 through L13.

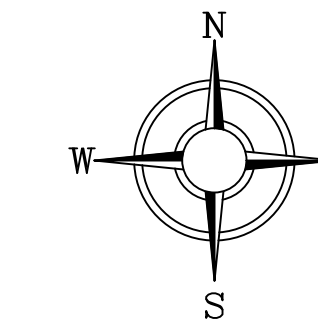
LEGEND: SET 5/8" IRON ROD & ORANGE PLASTIC CAP #22228 FOUND CHISELED "X" FOUND 5/8" IRON ROD FOUND SECTION CORNER BOUNDARY LINE ROW LINE LOT LINE EXISTING LOT LINE EASEMENT LINE EXISTING EASEMENT LINE BUILDING SETBACK LINE (BSL) SECTION LINE

Professional seal for Luke D. Miller, Licensed Land Surveyor, No. 22228, State of Iowa. Includes signature and date.

# Shops Of The Woodlands

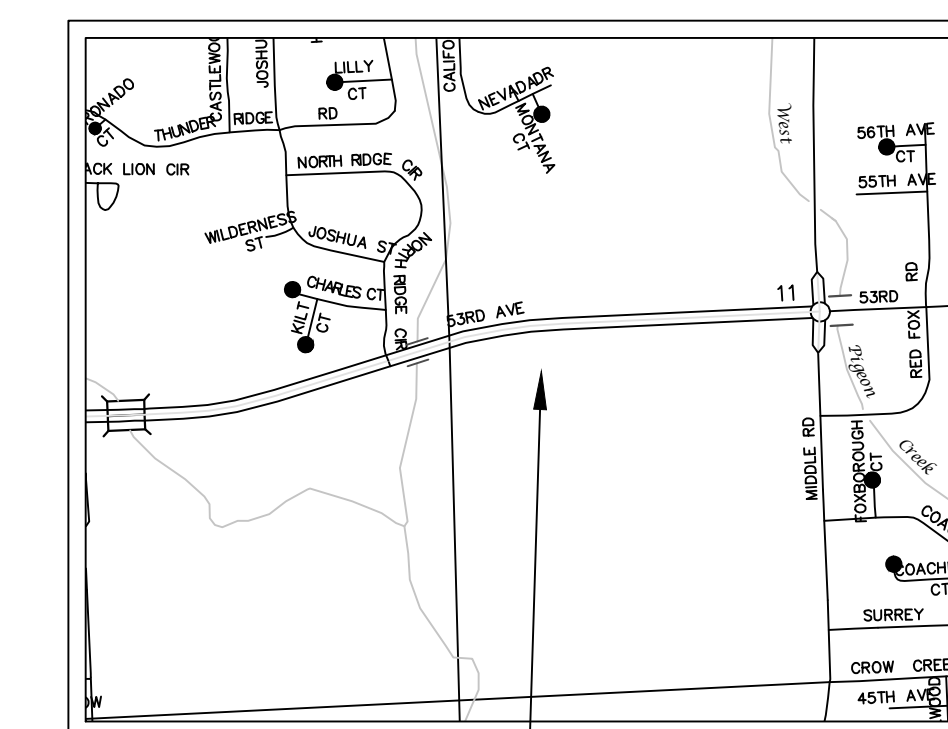
## Lot 1

4465 53rd Avenue  
Bettendorf, Iowa 52722



GRAPHIC SCALE  
20 0 10 20  
( IN FEET )  
1" = 20' (24x36)

SITE LOCATION MAP



### Sheet Index:

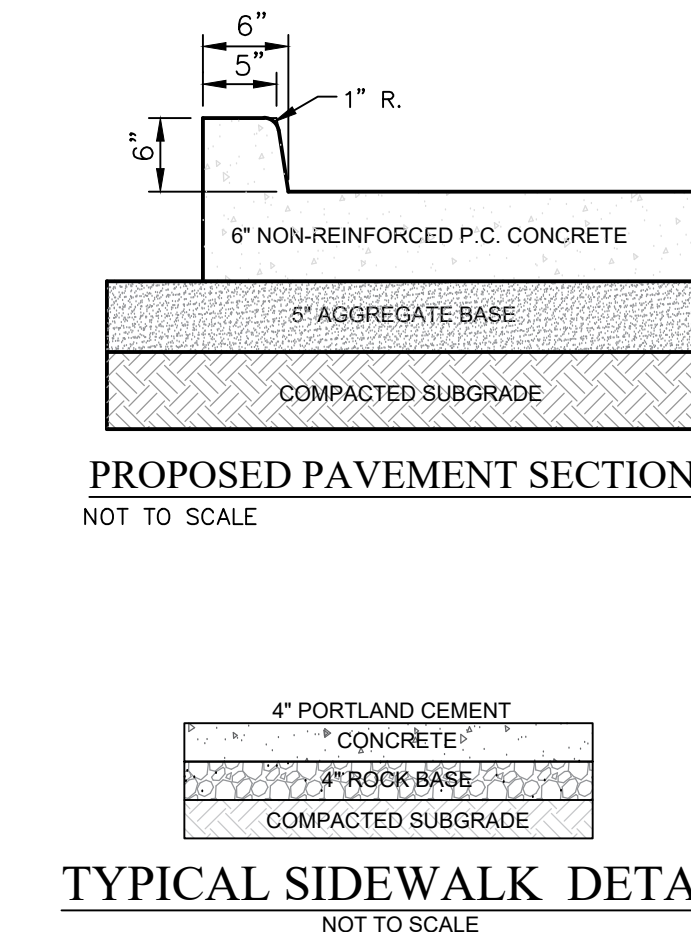
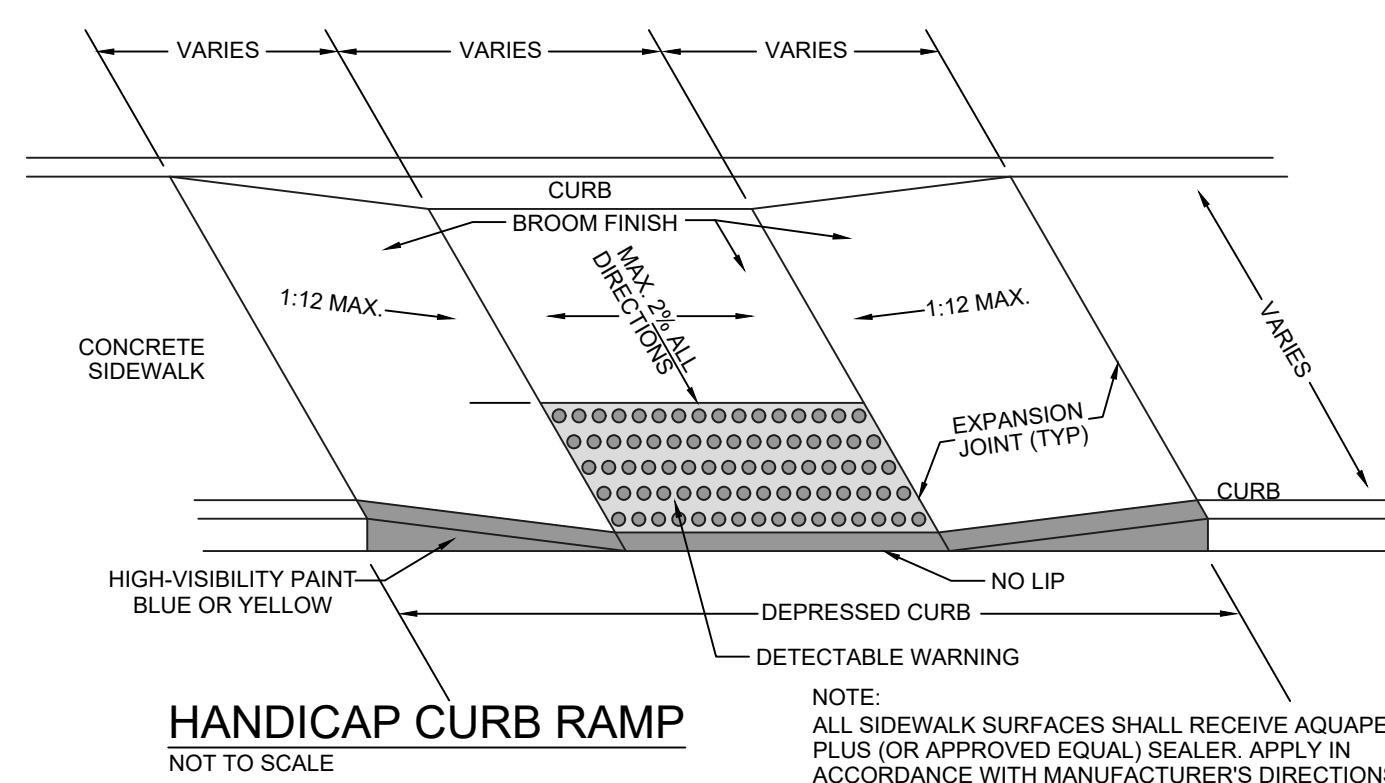
- C1 - Site & Landscaping Plan
- C2 - Grading Plan
- C3 - Utility Plan
- C4 - Erosion Control Plan

**GENERAL NOTES**

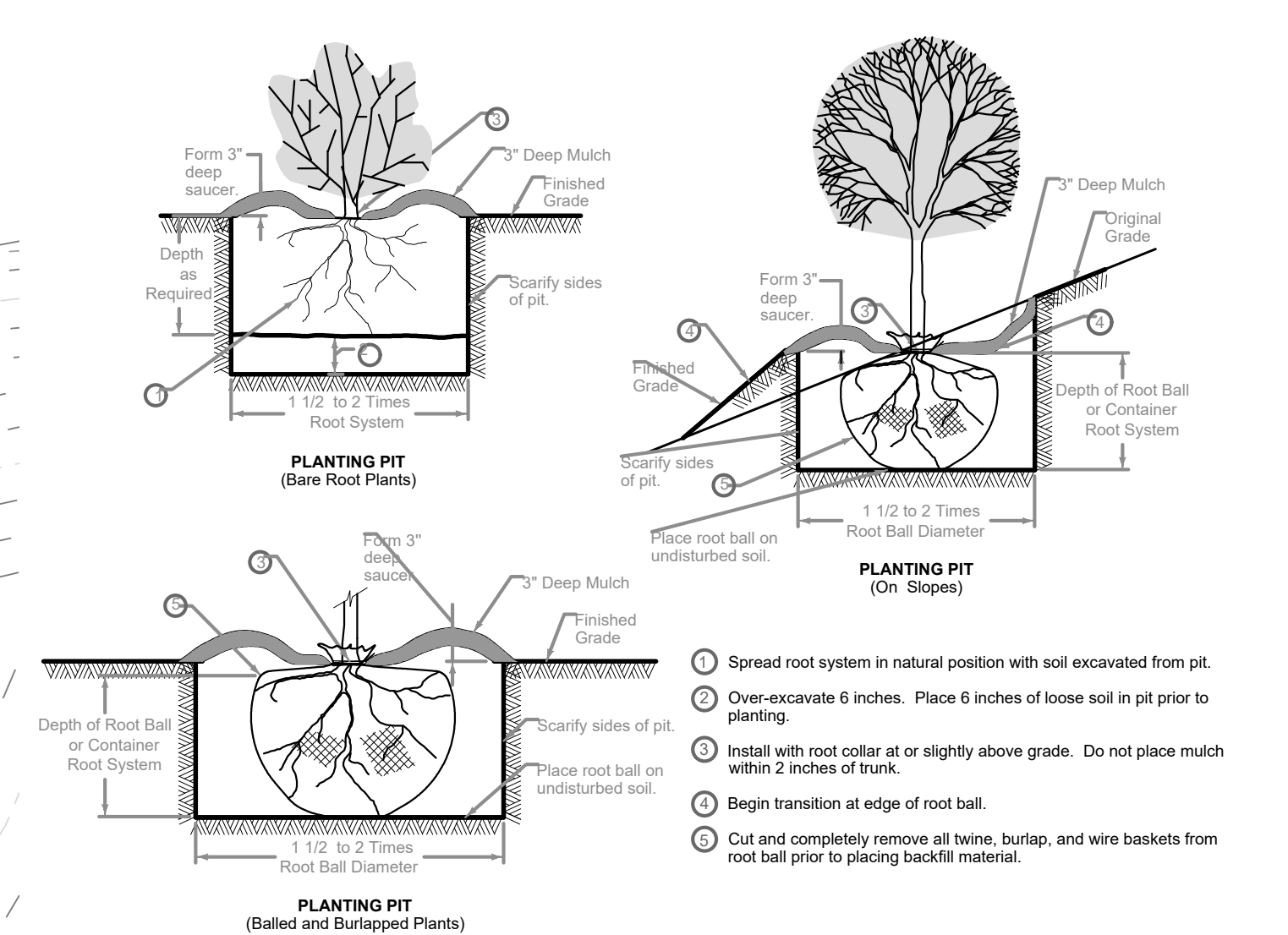
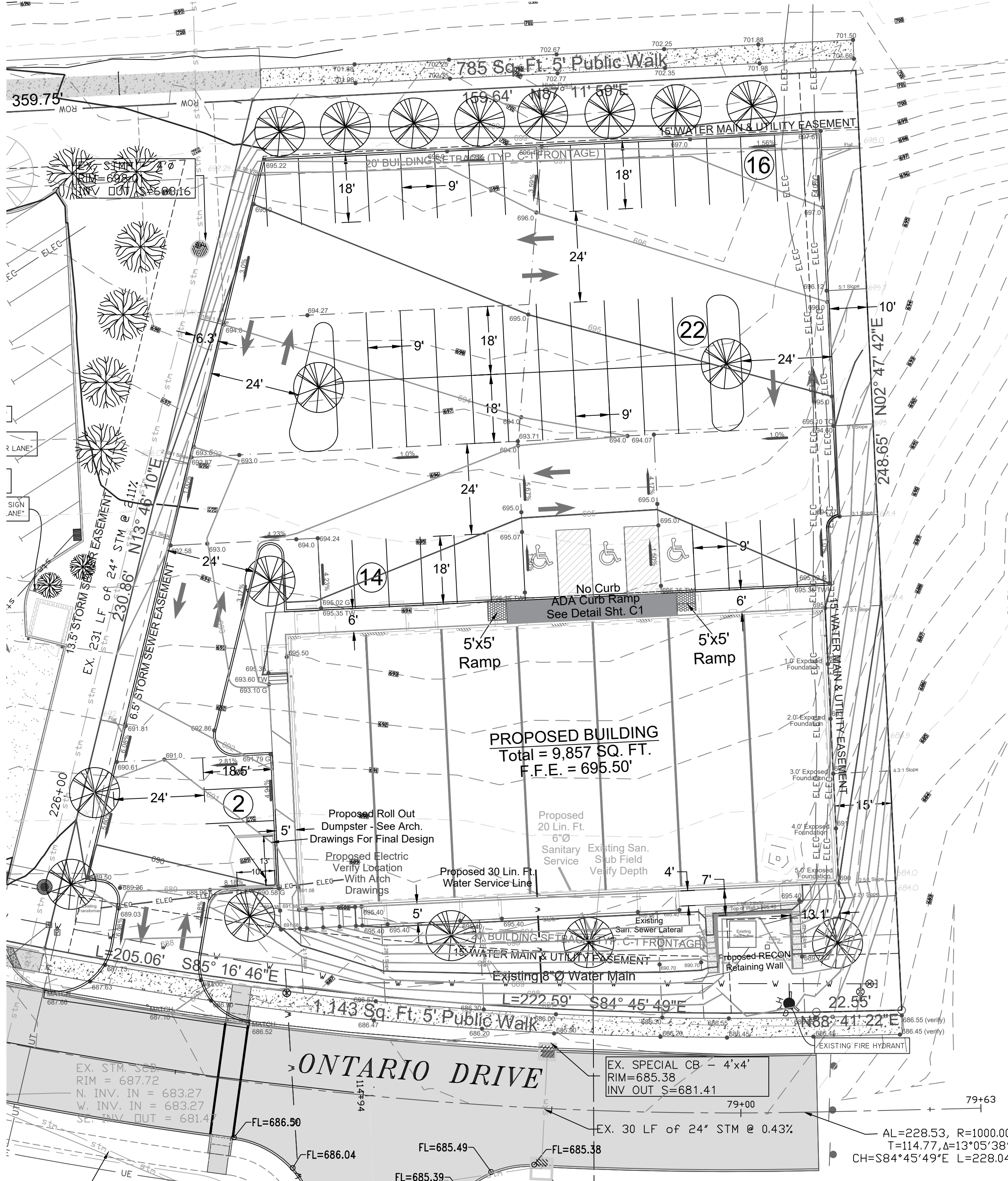
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
- LEGAL DESCRIPTION OF PROPERTY: LOT 2, SHOPS OF THE WOODLANDS, CITY OF BETTENDORF, IOWA. PART OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PM, BETTENDORF, IN SCOTT COUNTY, IOWA.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF BETTENDORF STANDARDS AND SPECIFICATIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.
- NOTE: LOTS 1-4 & 9 SHALL DRAIN TO A REGIONAL DETENTION WHICH WILL BE PROVIDED ON LOT A OF VILLAGE OF THE WOODLANDS ADDITION WHEN CONSTRUCTED.

LEGEND:			
	EASEMENT		EXISTING GAS VALVE
	SETBACK LINE		EXISTING WATER VALVE
	CENTERLINE		EXISTING UTILITY POLE
	PROPERTY BOUNDARY		EXISTING LIGHT POLE
	EXISTING FENCE		EXISTING TREE
	EXISTING SANITARY		EXISTING BUSH
	PROPOSED SANITARY		EXISTING MANHOLE
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT
	PROPOSED STORM SEWER		FOUND PROPERTY PIN
	EXISTING WATER		CONTROL POINT
	PROPOSED WATER		
	EXISTING GAS LINE		
	EXISTING ELECTRIC		
	SPOT ELEVATION TOP OF CURB		SPOT ELEVATION FINISHED FLOOR ELEVATION
	SPOT ELEVATION SIDEWALK		
	FINISHED FLOOR ELEVATION		

**C1 Zoning Requirements**  
 Front Yard: 20 Ft. Minimum Building Setback  
 Side Yard: 0 Ft. Minimum Building Setback  
 Rear Yard: 20 Ft. Minimum Building Setback



**PARKING REQUIREMENTS**  
 PLANNED USE: 9,857 SQ. FT. - RESTAURANTS REQUIRED PARKING = 1 SPACE PER 100 SQ. FT. 2,500 Sq. Ft. \ 100 Sq. Ft. = 25 SPACES  
 OFFICE REQUIRED PARKING = 1 SPACE PER 250 SQ. FT. 7,357 Sq. Ft. \ 250 Sq. Ft. = 29 SPACES  
**54 SPACES REQUIRED - 54 PROVIDED INCLUDING 3 HANDICAP STALLS**

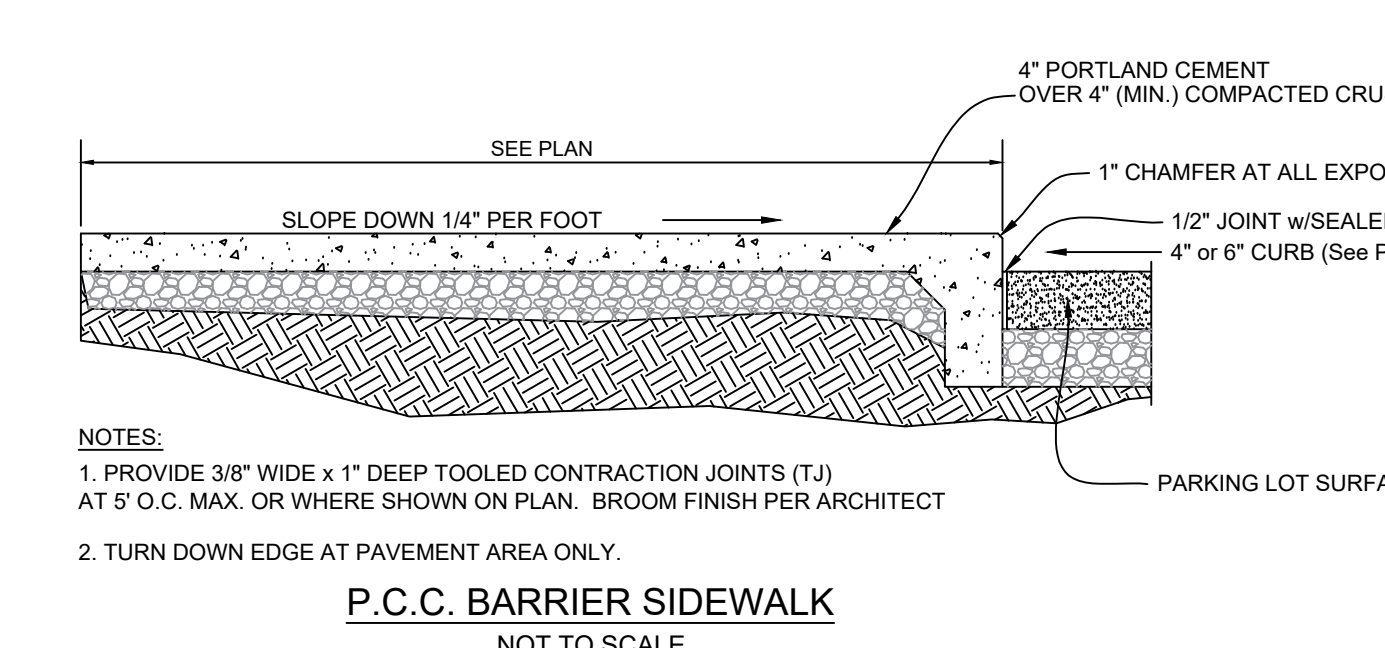
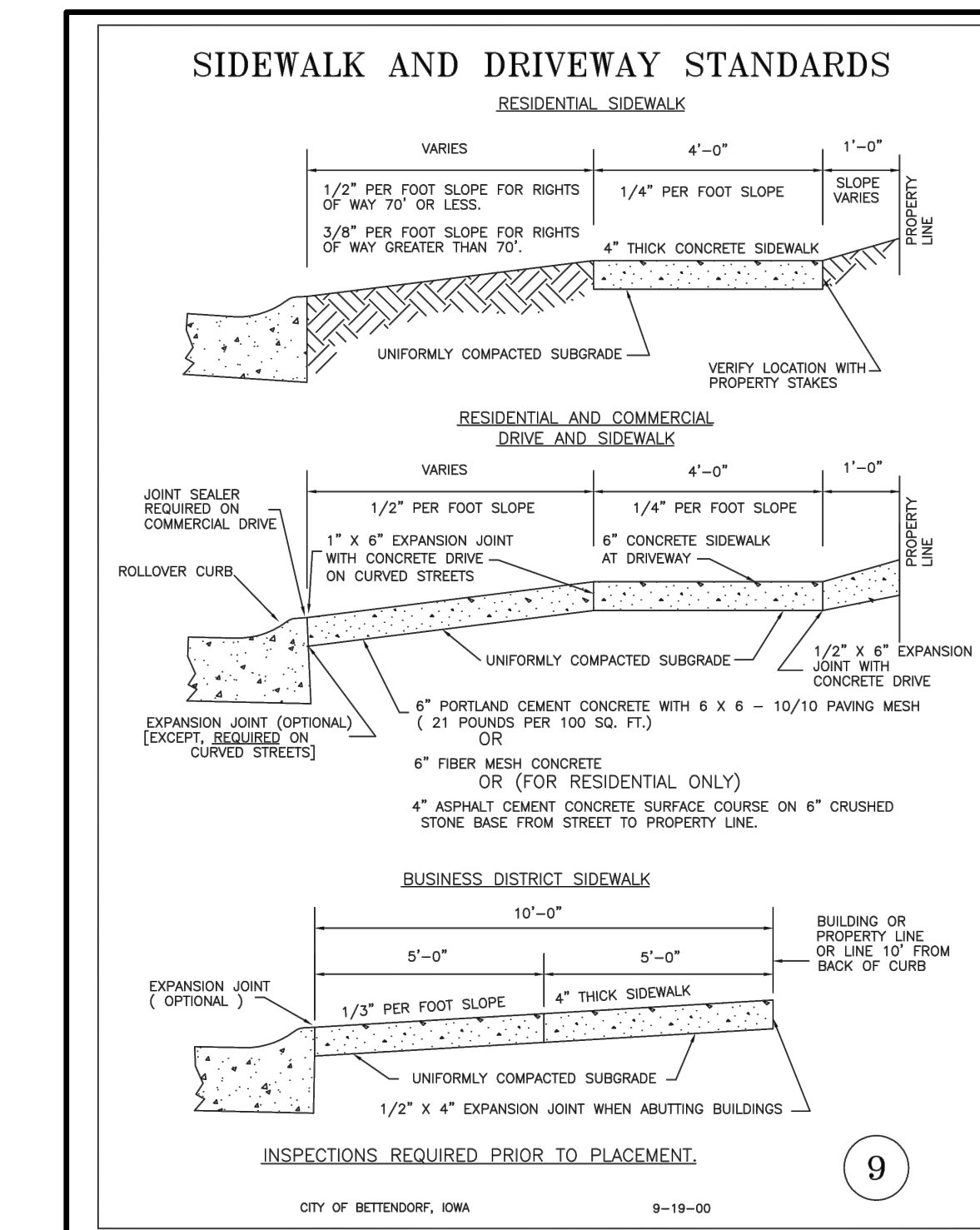
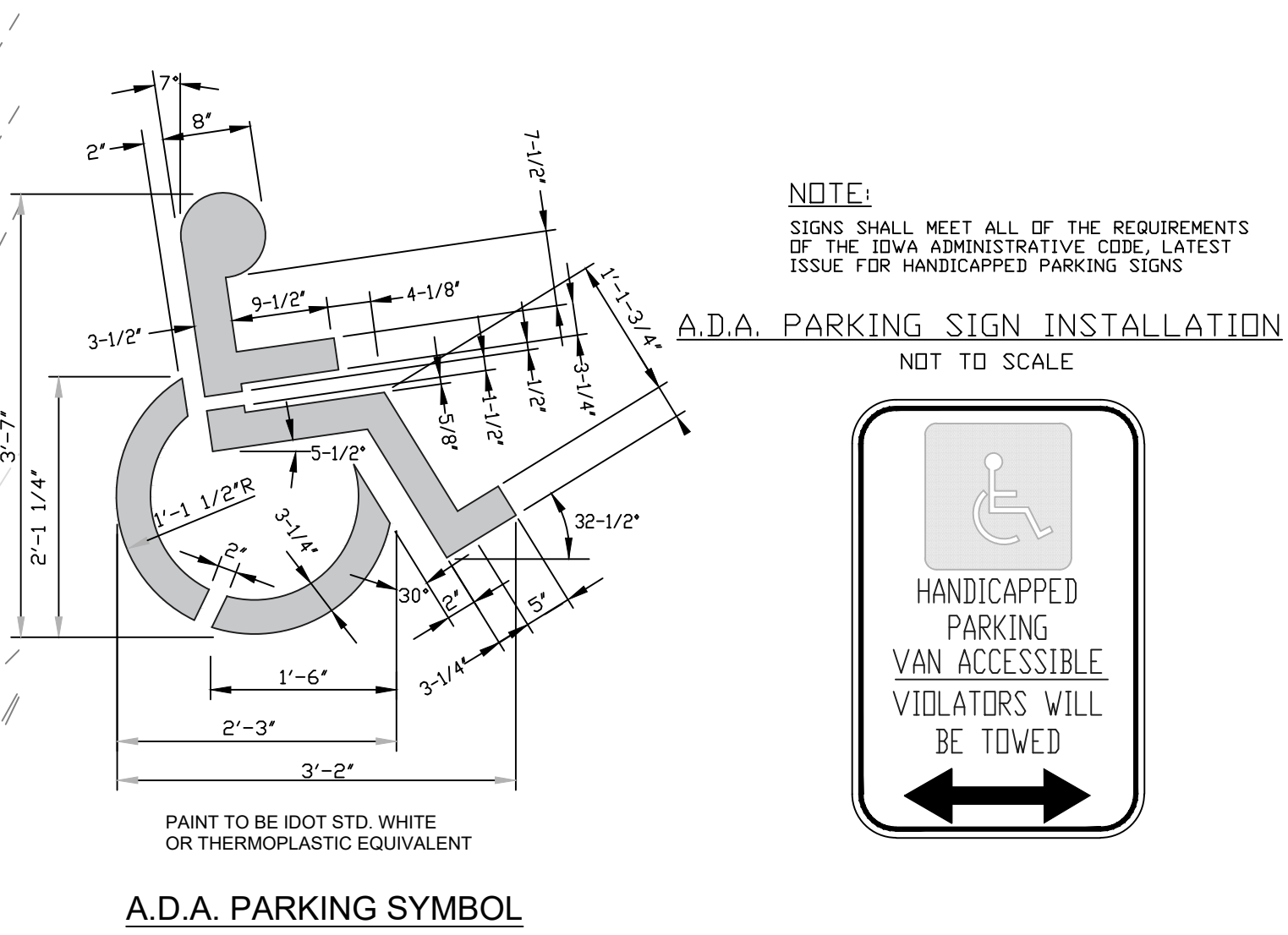
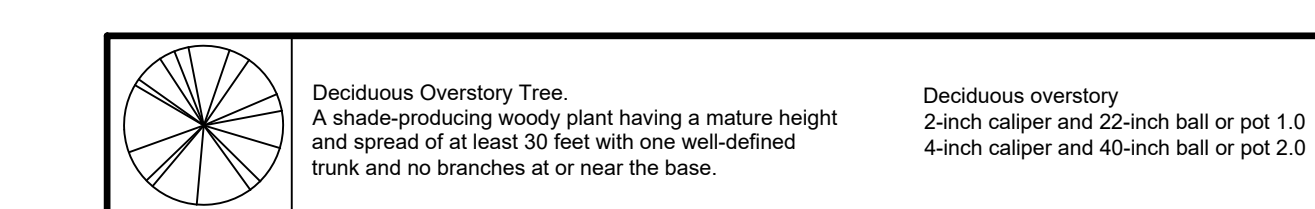


**LANDSCAPING NOTES**

Minimum Street Yard Greenspace requirements:  
 Total Required Tree Factors = 17

Ontario Drive = 8 Tree Factors  
 53rd Avenue = 7 Tree Factors  
 Vehicular Use Area = 2 Tree Factors

(Qty. = 17) Deciduous Overstory Tree \ 2-inch caliper and 22-inch ball or pot 1.0



PLOT DATE: 3/10/2020  
 563 386.4236 office 386.4231 fax  
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: CRT  
 CHECKED BY: CRT  
 DRAWING LOCATION  
 S:\Windmiller\Woodland Commercial\Lot 1\Lot 1 Woodlands Site Plan 1-31-20.dwg

NO.	REVISIONS: DESCRIPTION	DATE
1.	Revisions To Plan Set As Per COB Review 3-5-20	3-10-20
2.		
3.		
4.		

**PROJECT**  
 SITE DEVELOPMENT PLAN  
 LOT 1  
 SHOP OF THE WOODLANDS  
 4465 53rd AVENUE  
 BETTENDORF, IOWA

**DEVELOPER**  
 WINDMILLER DESIGN BUILD  
 4877 WOODLAND DRIVE  
 BETTENDORF, IOWA 52722

**SHEET NO.**  
 C1

I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

3-10-20 Date  
 My license renewal date is December 31, 2020.  
 Pages or Sheets covered by this seal: C1-C5

All Sanitary Sewer, Storm Sewer, Water Service & Paving Shall Be Completed In Conformance With The Current Standards & Specifications Of The City Of Bettendorf, Iowa

GENERAL NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.

UTILITY CONTACTS

MidAmerican Energy-Gas  
2811 5th Avenue  
Rock Island, IL 61201  
(309) 793-3707

Iowa American Water Company  
5201 Grand Avenue  
Davenport, IA 52807  
(563) 468-9222

Century Link  
3908 Utica Ridge Road  
Bettendorf, IA 52722  
(563) 355-6402

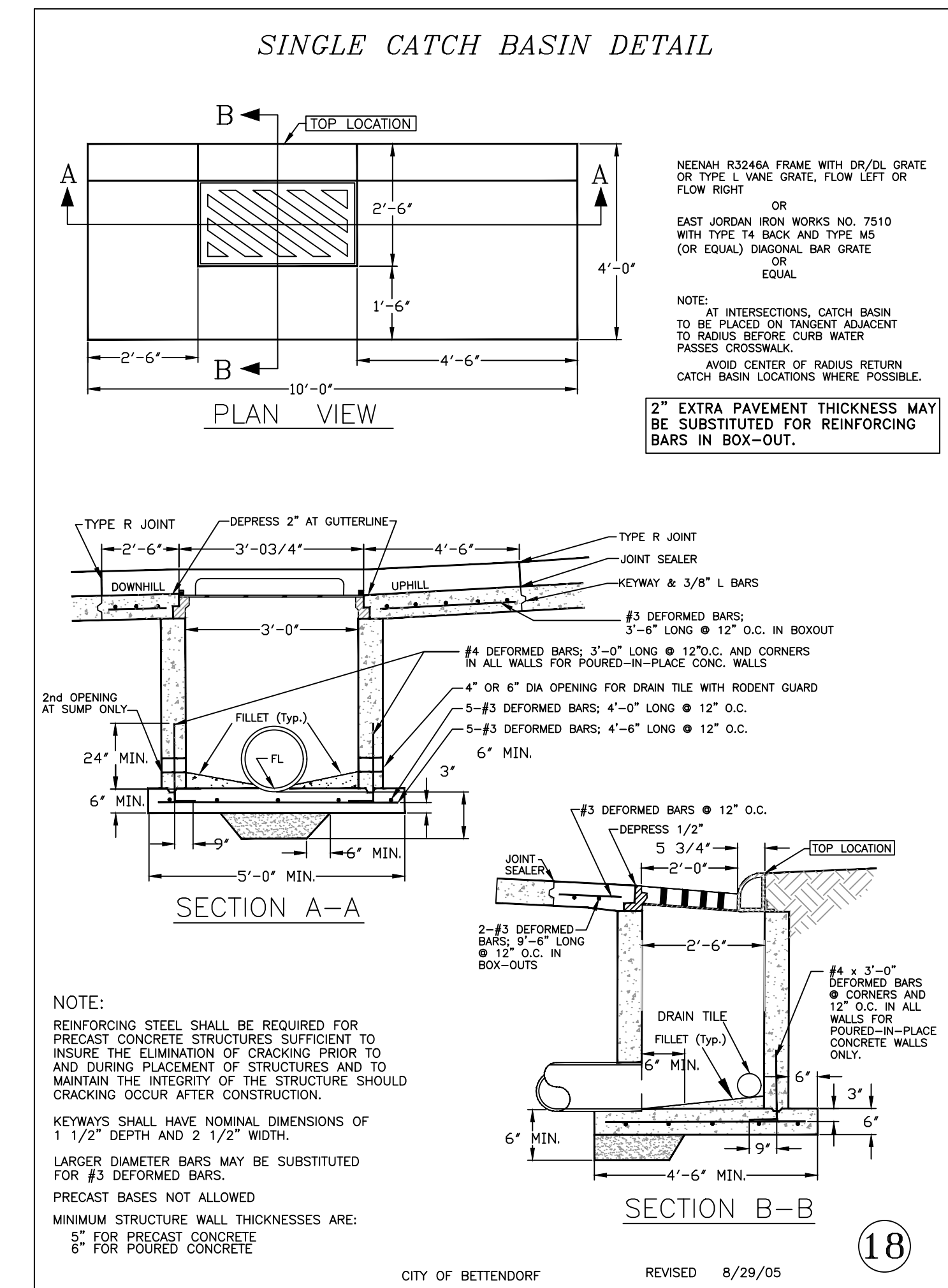
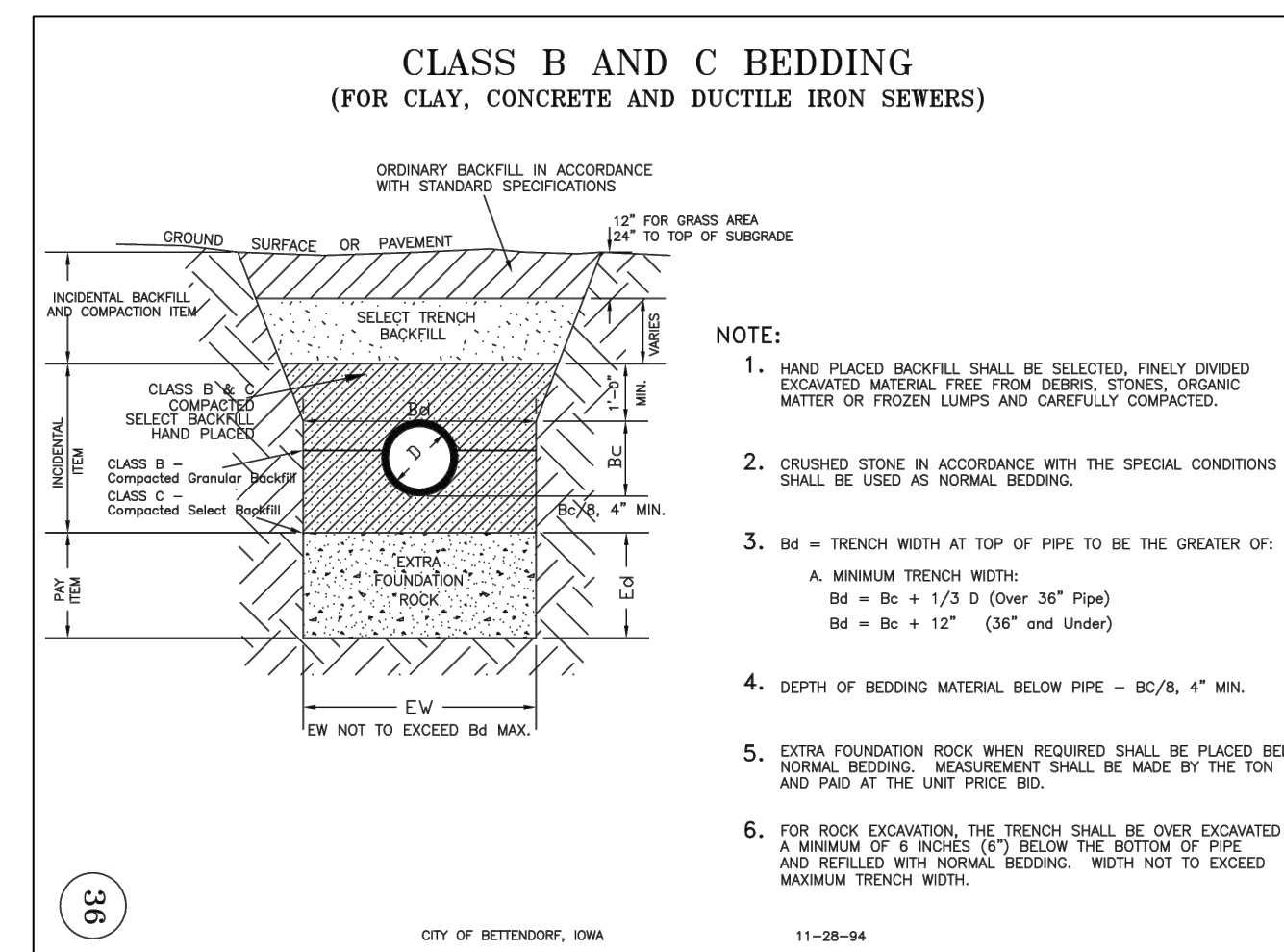
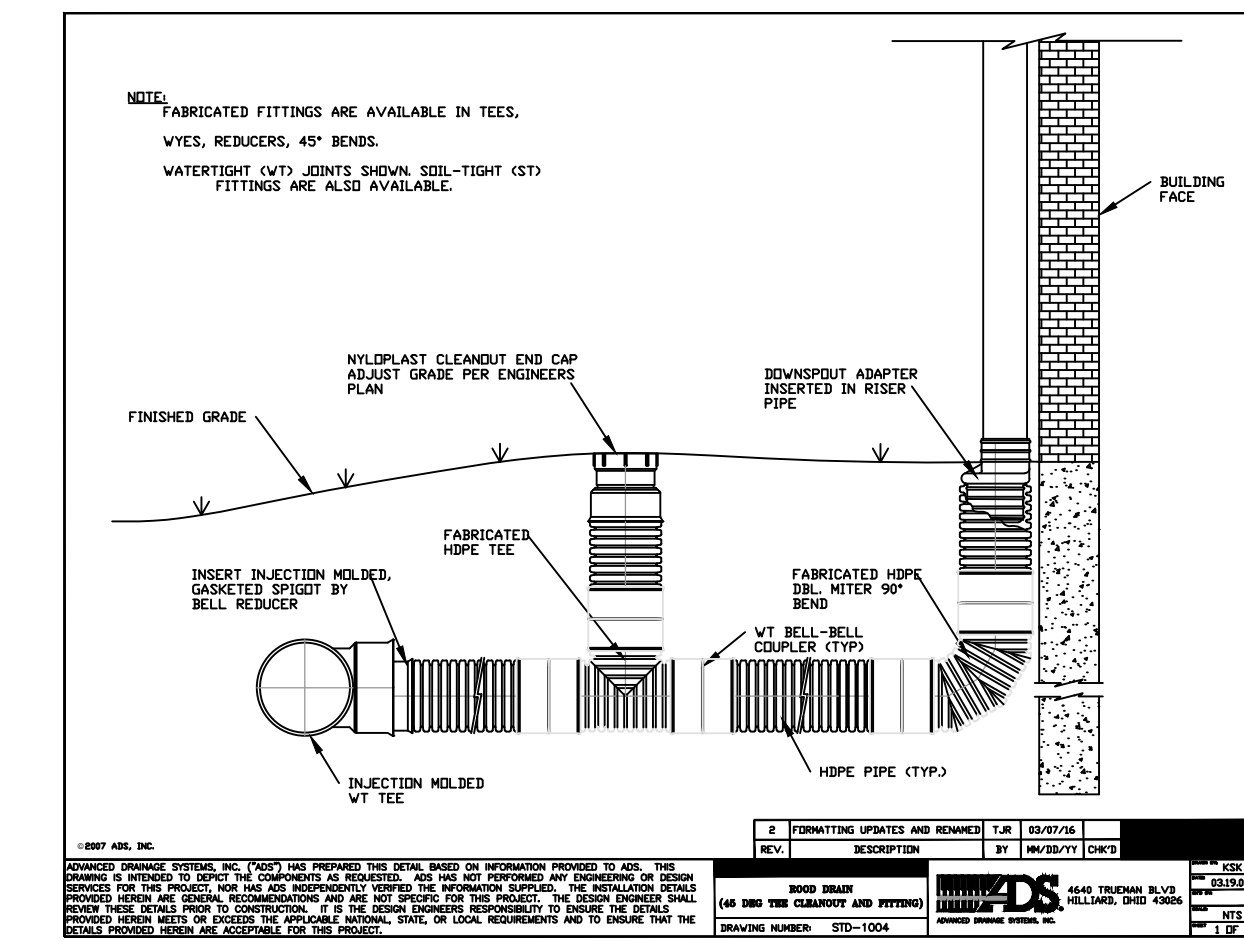
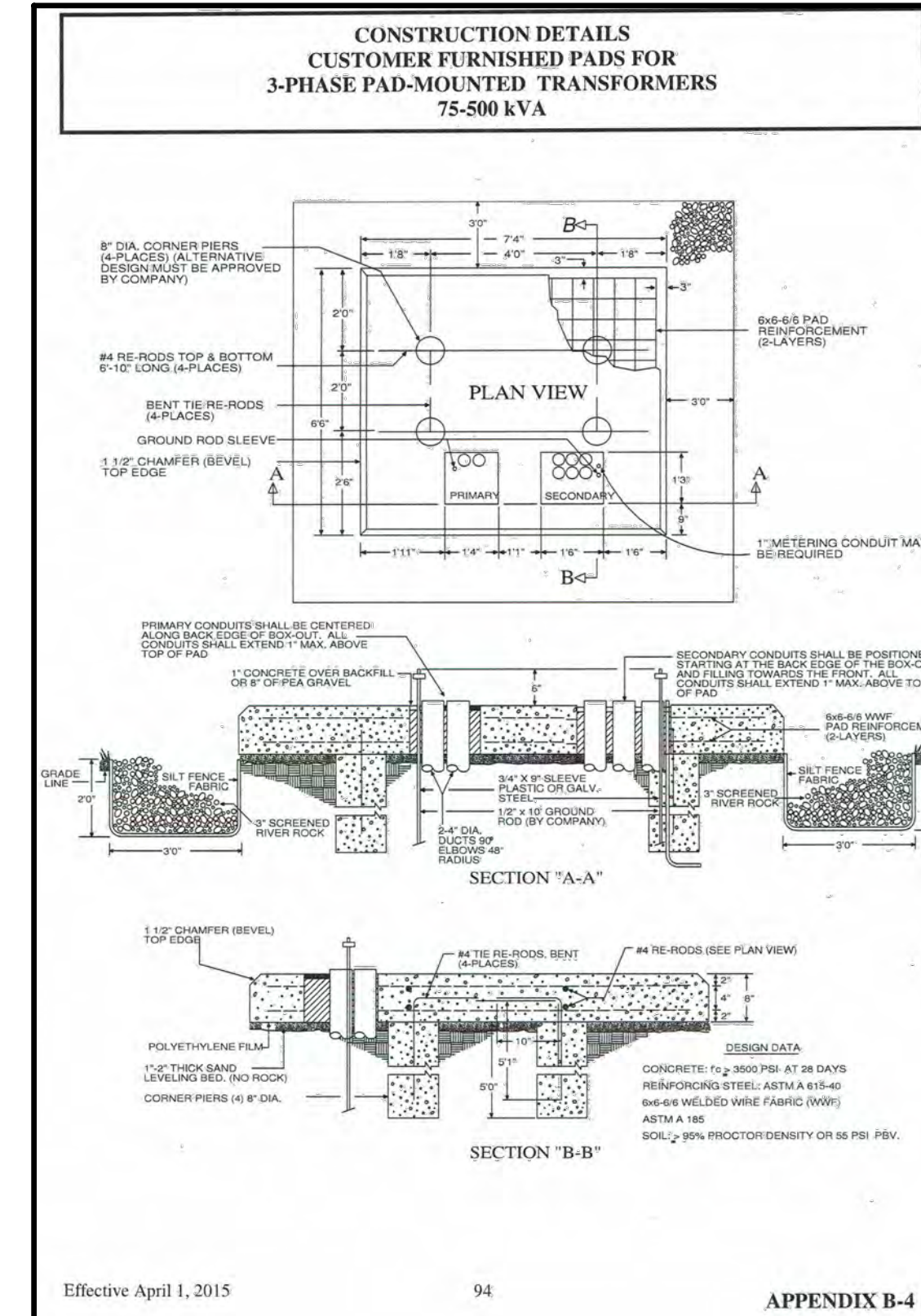
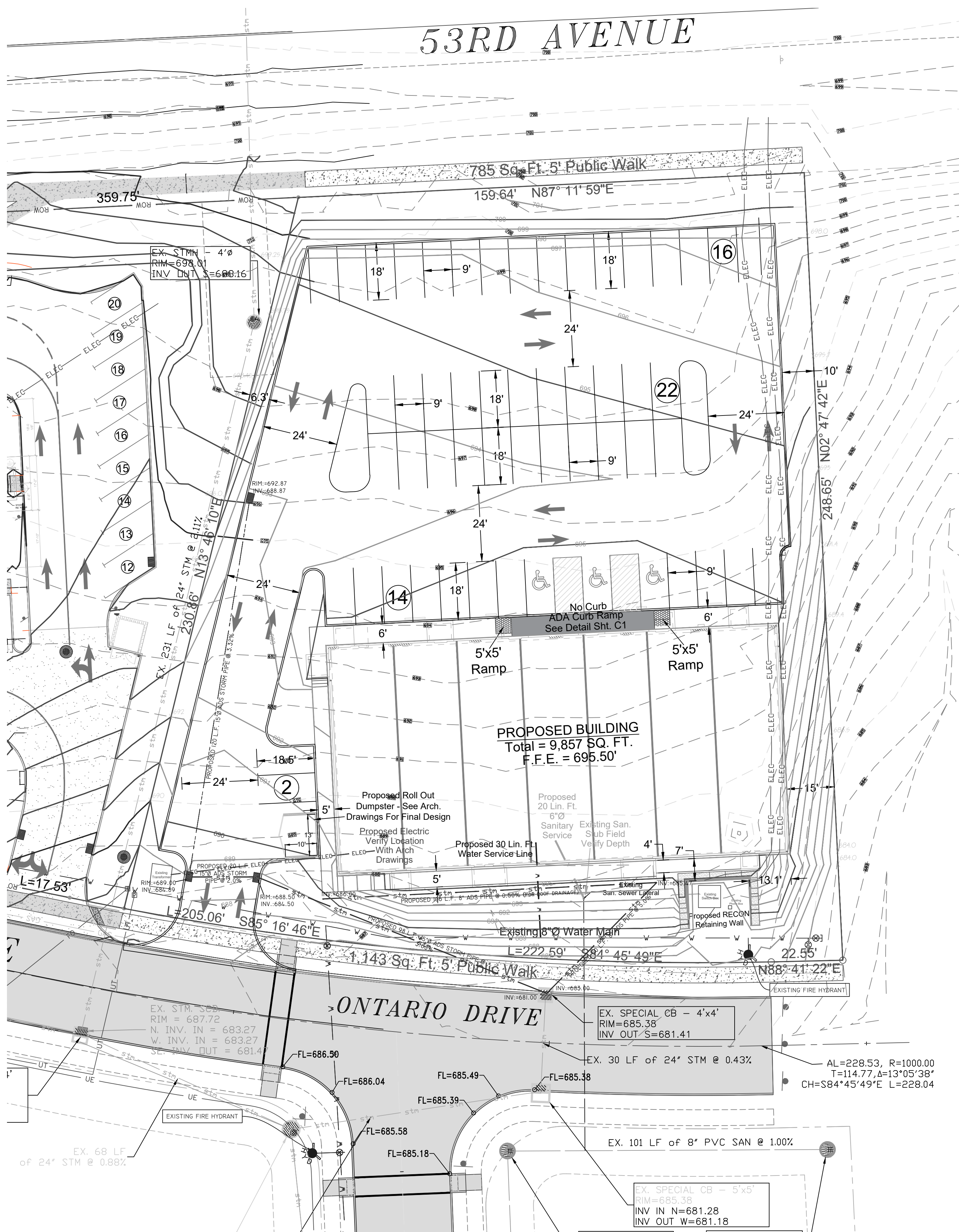
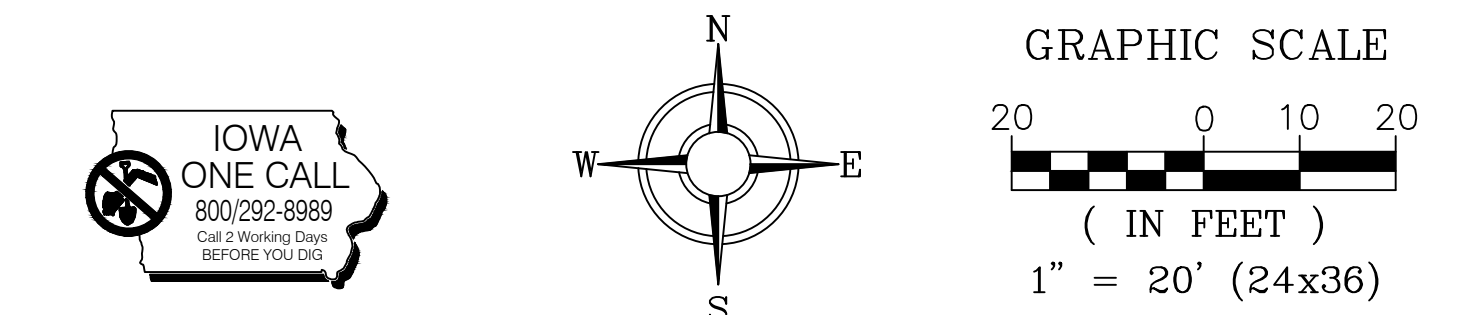
MediaCom-Cable  
3900 26th Avenue  
Moline, IL 61265  
(309) 743-4750

Attachment D GRADING & UTILITY PLAN

Shops Of The Woodlands

Lot 1

4465 53rd Avenue  
Bettendorf, Iowa 52722



PLOT DATE: 3/12/2020  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

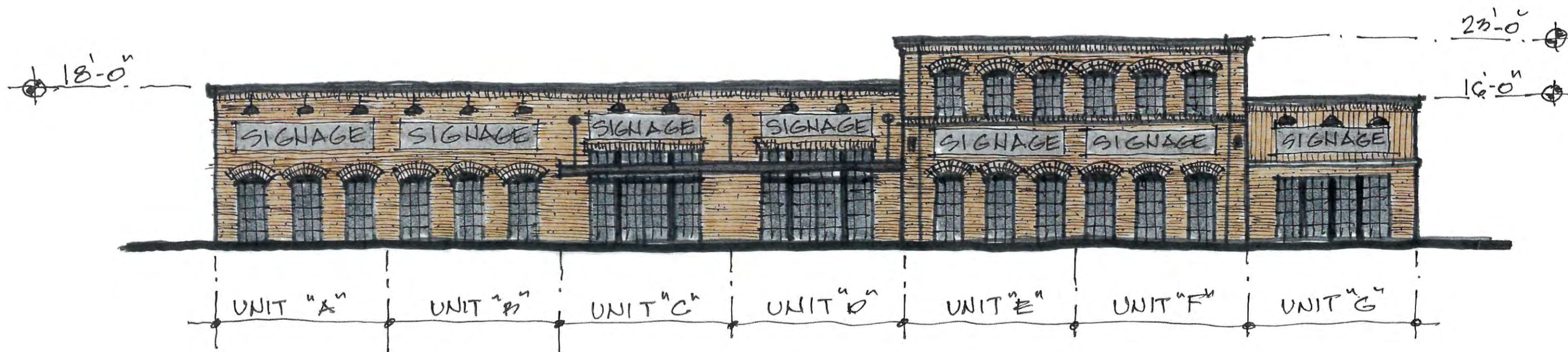
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CHECKED BY: CRT  
DRAWING LOCATION  
S:\Windmill\Woodland Commercial\Lot 1\Lot 1 Woodlands Site Plan 1-31-20.dwg

NO.	REVISIONS: DESCRIPTION	DATE
1.	Revisions To Plan Set As Per COB Review 3-5-20	3-10-20
2.	Added Storm System To Plan	3-12-20

PROJECT: GRADING & UTILITY PLAN  
LOT 1  
SHOP OF THE WOODLANDS  
4465 53rd AVENUE  
BETTENDORF, IOWA

DEVELOPER: WINDMILLER DESIGN BUILD  
4877 WOODLAND DRIVE  
BETTENDORF, IOWA 52722

SHEET NO. C3



WINDMILLER DESIGN BUILD



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

April 15, 2020

Staff Report

### **Case No. 20-013**

**Project:** Lot 3, Glenbrook Ridge Third Addition – Site Development Plan

**Applicant:** Clint Albrecht

**Current Land Use Designation/Zoning District:** Urban Medium Intensity

### **Background Information and Facts**

Clint Albrecht has submitted a site development plan for Lot 3 of Glenbrook Ridge Third Addition (see Aerial Photo and Final Plat - Attachments A and B). The site plan shows 2 townhouse buildings with the east structure having 6 units and the west structure having 7 units (see Site Plan and Utility Plan - Attachments C and D). The landscape plan meets the requirement for tree count with 12 total tree factors (see Landscape Plan - Attachment E). The elevations show the structure as it will appear from different angles (see Elevations - Attachment F). The number of parking spaces provided for the townhouse buildings meets ordinance requirements.

### **Land Use**

The land use designation and zoning district classification for the site is Urban Medium Intensity.

### **Utilities**

Utilities are available to the site.

### **Thoroughfare Plan/Access**

Access to the site is from Devils Glen Road to Glenbrook Circle North and then south and west onto Glenbrook Circle South (a private drive).

### **Storm Water Detention**

Storm water detention will be required to be approved by the City Engineer.

### **Recommended Action**

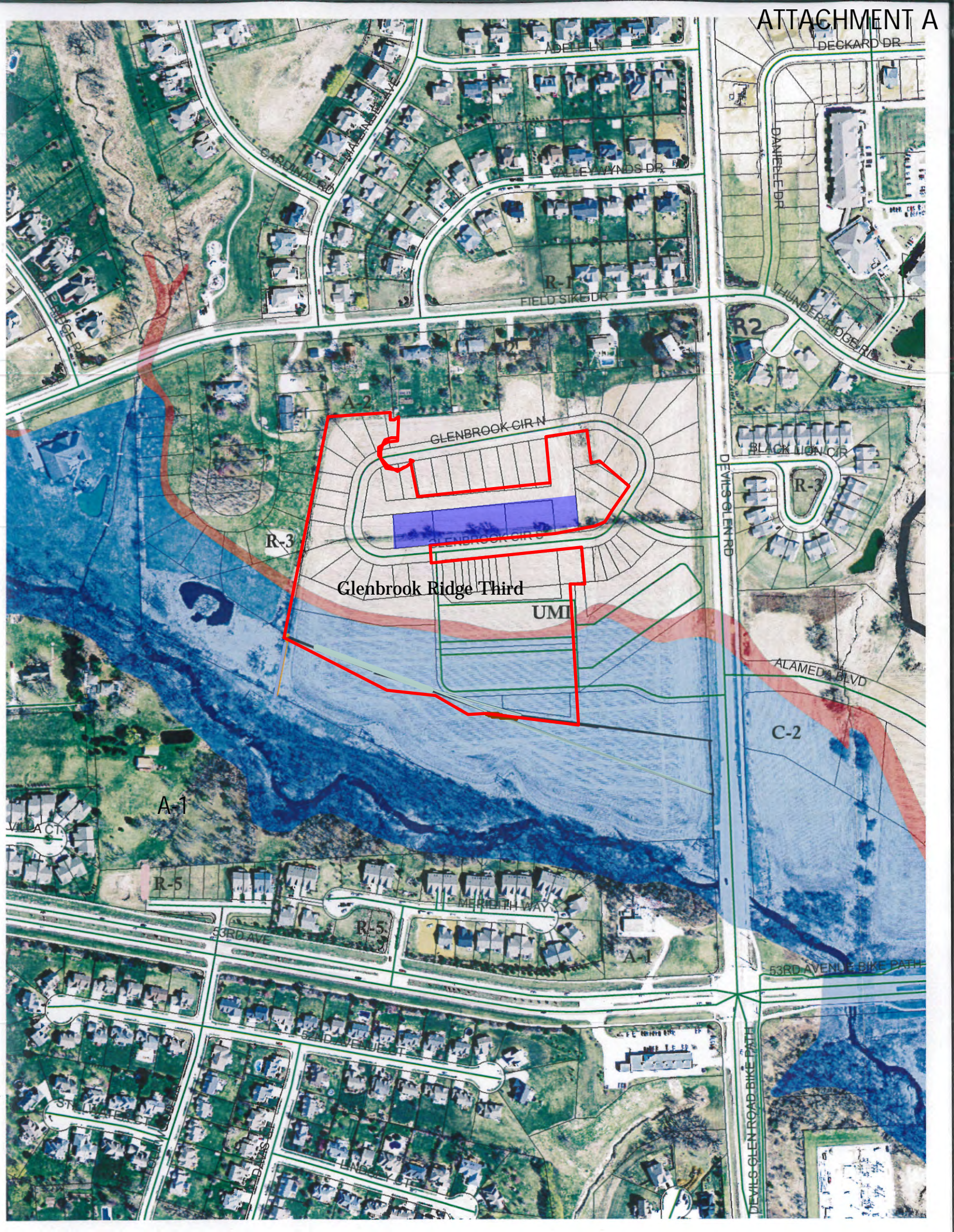
Staff recommends approval of the site development plan subject to the following conditions:



1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. City Engineer must approve storm water detention designs prior to issuance of a building permit.
3. A hold harmless agreement must be obtained to protect the City from any damages to the property resulting from trash and recycling collection in the private drive area and the associated parking lot.

Respectfully submitted,

Greg Beck  
City Planner



Glenbrook Ridge Third

R-3

UMI

C-2

GLENBROOK CIR N

GLENBROOK CIR S

BLACK LION CIR

R-3

ALAMEDA BLVD

53RD AVE

MERLETH WAY

53RD AVENUE BIKE PATH

DEVILS GLEN ROAD BIKE PATH

DEVILS GLEN RD

DANIEL DR

THUNDER RIDGE DR

ADELL LN

VALLEY WINDS DR

FIELD SIKS DR

DECKARD DR

CARDINAL RD

BRANDENBURY LN

VILLAGE CT

R-5

R-5

A-1

ST

5 DMS

W E NORTH DR

# FINAL PLAT

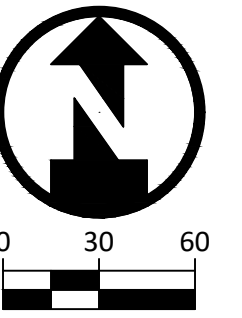
## GLENBROOK RIDGE THIRD ADDITION

A REPLAT OF LOTS 2, 3, 6, 7, 13, 16 AND 17  
OF GLENBROOK RIDGE SECOND ADDITION  
BETTENDORF, IOWA

FOR RECORDER'S USE ONLY

RECORDER'S INDEX

COUNTY:	SCOTT
SECTION:	10-78N-4E
QUARTER SECTION:	
CITY:	BETTENDORF
SUBDIVISION:	GLENBROOK RIDGE SECOND ADDITION
BLOCK:	NA
LOT(S):	2, 3, 6, 7, 13, 16, AND 17
PROPRIETOR:	DEVILS GLEN HOLDING, LLC
REQUESTED BY:	DEVILS GLEN HOLDING, LLC
PREPARED BY:	AXIOM CONSULTANTS, LLC, 60 E. COURT ST. UNIT 3 IOWA CITY, IA 52240 - PH# 319.519.6220



ENGINEER:	DATE
DRAWING LOG	DESCRIPTION OF CHANGES
REV	

ISSUED FOR:	DATE ISSUED:

PROJECT NAME:	CLIENT NAME:
GLENBROOK RIDGE THIRD ADDITION	DEVILS GLEN HOLDING, LLC

SHEET NUMBER:	PROJECT NO.:	PROJECT MANAGER:
1 OF 1	19-0078	BETTIS

**PLAT PREPARED BY:**  
AXIOM CONSULTANTS  
60 E. COURT STREET, UNIT 3  
IOWA CITY, IA 52240

**OWNER:**  
Lots 1, 2 & OLF  
NELSON CONSTRUCTION &  
DEVELOPMENT  
218 6TH AVENUE, SUITE 200  
DES MOINES, IA 50309

**SUBDIVIDER'S ATTORNEY:**  
BRYCE K. DALTON  
KIRTON MCCONKIE  
50 E. SOUTH TEMPLE #400  
SALT LAKE CITY, UT 84111  
801-328-3600  
BDALTON@KMCCLAW.COM

**OWNER:**  
Lot 5  
SCOTT WEBSTER  
PREMIER CUSTOM HOMES  
5773 CALIFORNIA DRIVE  
BETTENDORF, IA 52722  
SMW212121@ICLOUD.COM

**LEGAL DESCRIPTION**

LOTS 2, 3, 6, 7, 13, 16, 17, OUTLOT E, AND DETENTION OUTLOTS 3 THRU 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN BOOK 2019, PAGE 11022 IN THE SCOTT COUNTY RECORDER'S OFFICE, IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

**OUTLOT INFORMATION:**

1. DETENTION OUTLOT #3 FOR PUBLIC STORM WATER MANAGEMENT.
2. OUTLOT E FOR COMMON OPEN SPACE.
3. OUTLOT F FOR COMMON OPEN SPACE.

**NOTES:**

1. BASIS OF BEARINGS IS THE IOWA PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
2. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
3. NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
4. NO INVESTIGATION WAS MADE AS APART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
5. PART OF THIS SUBDIVISION IS SUBJECT TO A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA ON COMMUNITY FIRM MAP NO. 19163C0378F WITH AN EFFECTIVE DATE OF FEBRUARY 18, 2011.
6. DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
7. ALL MONUMENTS HAVE BEEN FOUND OR WILL BE SET AS SHOWN ON THIS PLAT BY DECEMBER 31, 2020.
8. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
9. BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
10. BLANKET ACCESS EASEMENTS ACROSS LOTS 1 AND 2 ARE GRANTED TO THE OWNERS OF ALL OF THOSE LOTS.
11. MINIMUM 4-FT WIDE SIDEWALK ON INTERIOR RIGHTS-OF-WAY.
12. ALL PRIVATE DRIVES SHALL BE OWNED AND MAINTAINED BY THE OWNERS OF LOTS NOT FRONTING GLENBROOK CIRCLE NORTH RIGHT-OF-WAY.
13. ALL EXISTING EASEMENTS ORIGINAL TO GLENBROOK RIDGE 1ST AND 2ND ADDITION SHALL BE VACATED WITH THE RECORDING OF THIS APPROVED PLAT
14. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS.
15. ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

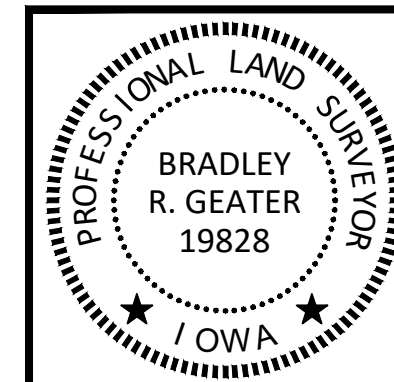
**ZONING:**

URBAN MEDIUM INTENSITY (UMI)

**SETBACKS**

FRONT	25 FT
SIDE	5 FT MIN; ONE SIDE=10; TOTAL=15; MIN.=15
REAR	25 FT

CITY OF BETTENDORF	
BY _____	DATE _____
ATTEST _____	DATE _____
PLANNING AND ZONING	
BY _____	DATE _____
IOWA - AMERICAN WATER CO.	
BY _____	DATE _____
MIDAMERICAN ENERGY COMPANY	
BY _____	DATE _____
MEDIACOM	
BY _____	DATE _____
CENTURYLINK	
BY _____	DATE _____

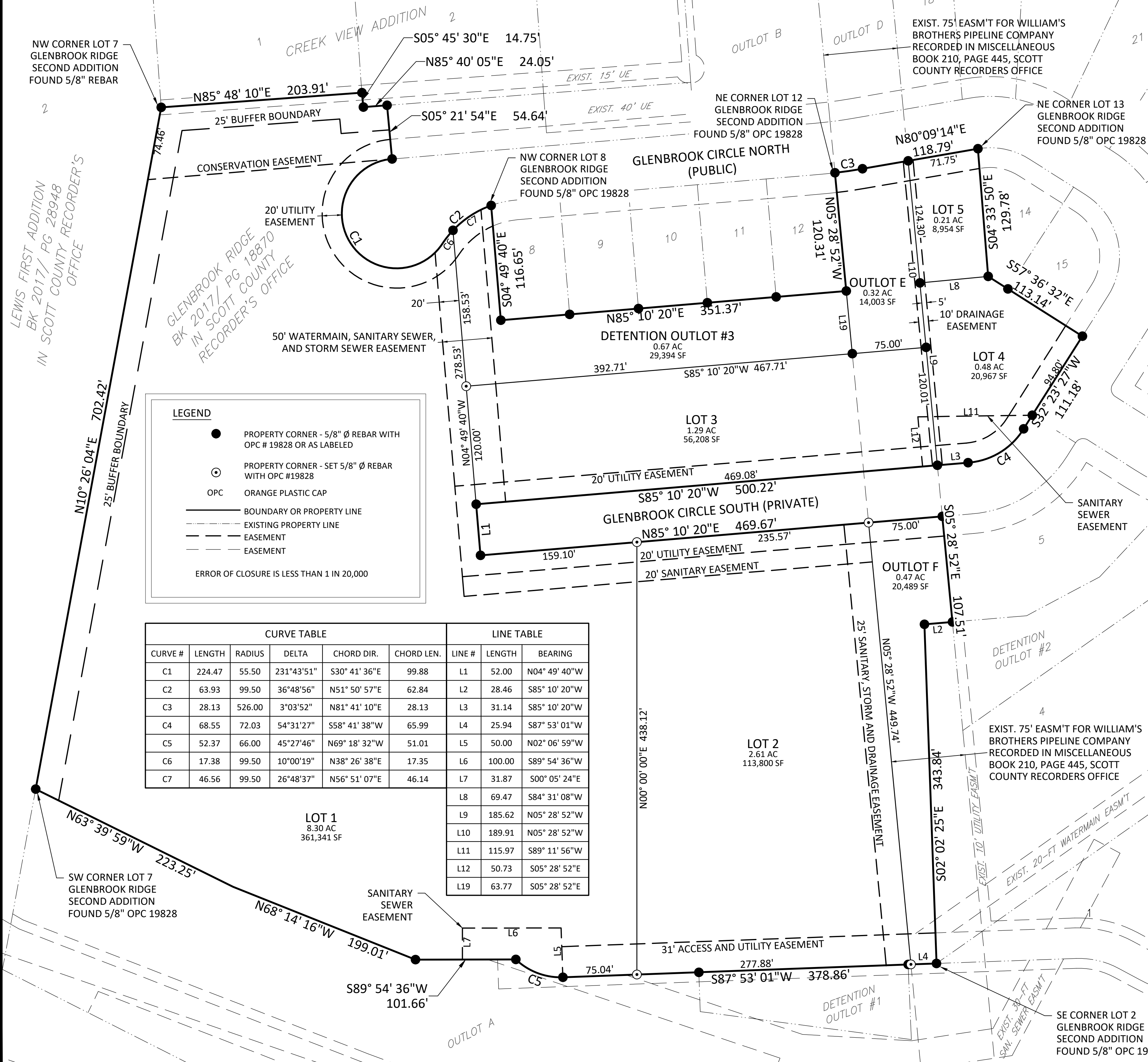


HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

**DRAFT**

BRADLEY R. GEATER, P.L.S., P.E. DATE \_\_\_\_\_  
LICENSE NUMBER 19828  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: THIS PLAT

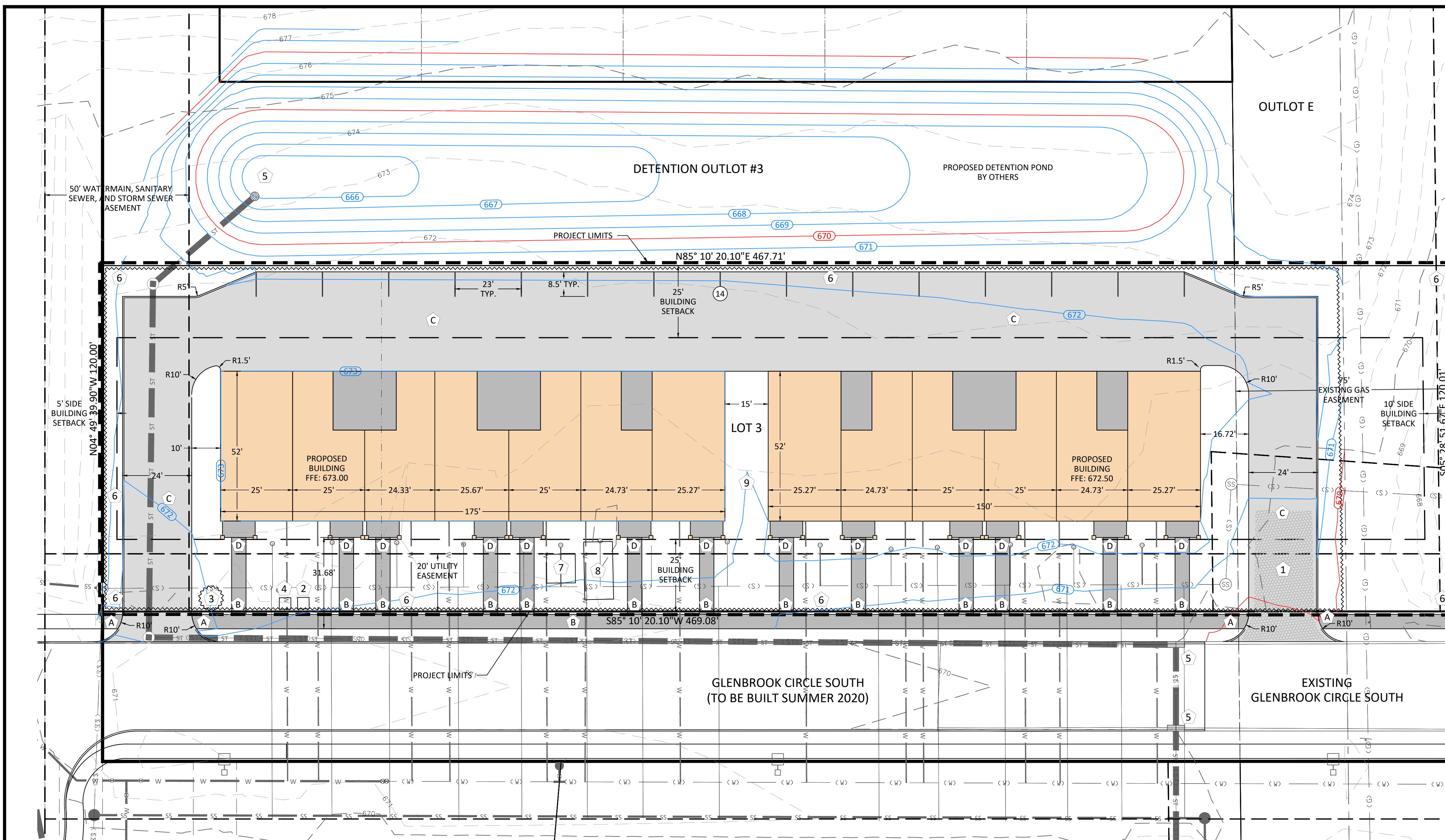


**LEGEND**

- PROPERTY CORNER - 5/8" Ø REBAR WITH OPC # 19828 OR AS LABELED
- PROPERTY CORNER - SET 5/8" Ø REBAR WITH OPC #19828
- OPC ORANGE PLASTIC CAP
- BOUNDARY OR PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - EASEMENT
- - - EASEMENT

ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

CURVE TABLE						LINE TABLE		
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.	LINE #	LENGTH	BEARING
C1	224.47	55.50	231°43'51"	S30°41'36"E	99.88	L1	52.00	N04°49'40"W
C2	63.93	99.50	36°48'56"	N51°50'57"E	62.84	L2	28.46	S85°10'20"W
C3	28.13	526.00	3°03'52"	N81°41'10"E	28.13	L3	31.14	S85°10'20"W
C4	68.55	72.03	54°31'27"	S58°41'38"W	65.99	L4	25.94	S87°53'01"W
C5	52.37	66.00	45°27'46"	N69°18'32"W	51.01	L5	50.00	N02°06'59"W
C6	17.38	99.50	10°00'19"	N38°26'38"E	17.35	L6	100.00	S89°54'36"W
C7	46.56	99.50	26°48'37"	N56°51'07"E	46.14	L7	31.87	S00°05'24"E
						L8	69.47	S84°31'08"W
						L9	185.62	N05°28'52"W
						L10	189.91	N05°28'52"W
						L11	115.97	S89°11'56"W
						L12	50.73	S05°28'52"E
						L13	63.77	S05°28'52"E



**SWPPP PLAN KEY NOTES:**

- 1 INSTALL STABILIZED CONSTRUCTION ENTRANCE
- 2 PROVIDE SANITATION FACILITY (PORTABLE RESTROOM)
- 3 PROVIDE CONCRETE WASHOUT
- 4 PROVIDE ENCLOSURE FOR STORAGE OF DOCUMENTS (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- 5 PROVIDE INLET PROTECTION PRIOR TO GRADING ACTIVITIES. MAINTAIN THROUGHOUT CONSTRUCTION. REMOVE UPON FINAL STABILIZATION.
- 6 INSTALL PERIMETER MEASURES PRIOR TO STARTING CONSTRUCTION.
- 7 EQUIPMENT & MATERIAL STORAGE (HAZARDOUS MATERIAL KEPT UNDER COVER)
- 8 CONSTRUCTION WASTE DISPOSAL
- 9 GRADE SWALE BETWEEN STRUCTURES FLOWING SOUTH @ MIN 1.5%

**LEGEND:**

~~~~~ SILT FENCE

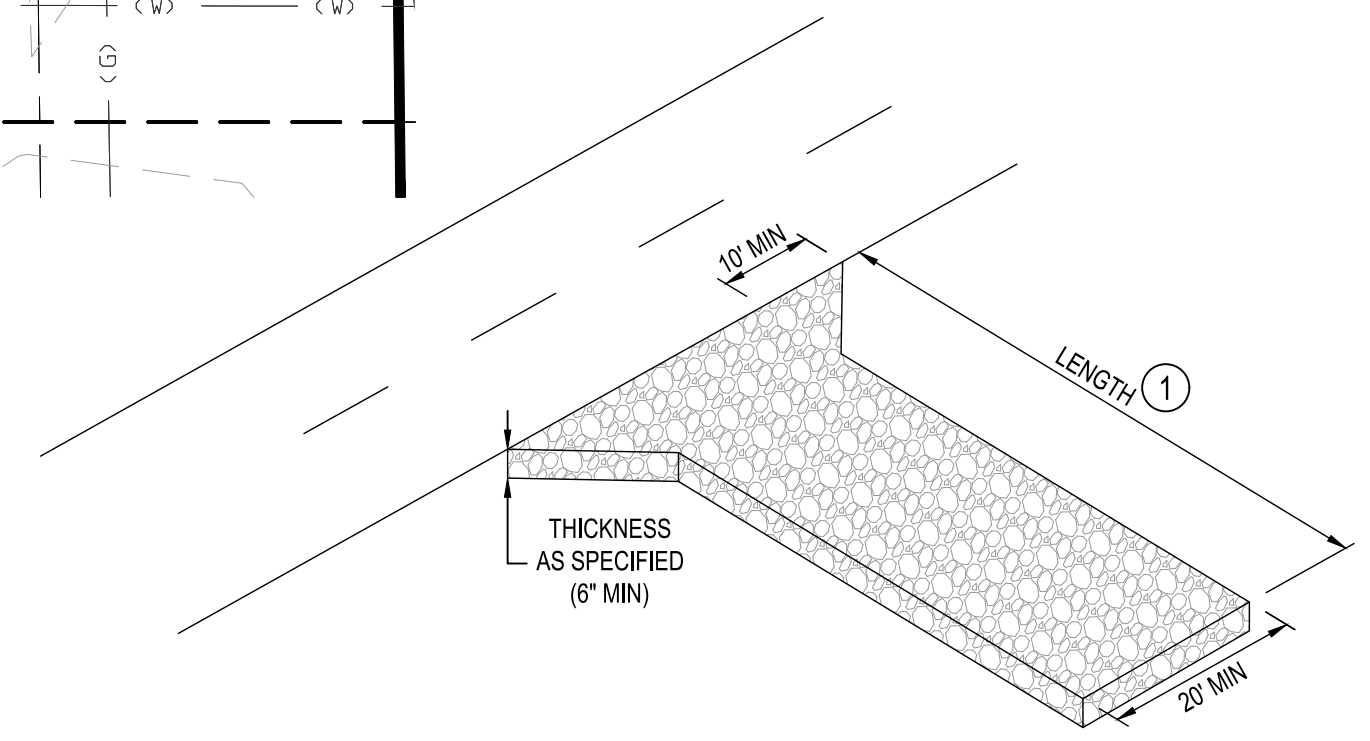
**STORMWATER DEVELOPMENT AREA:**

SITE AREA: THE SITE IS APPROXIMATELY 1.29 ACRES OF WHICH 1.17 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

RECEIVING WATERS: THE MAJORITY OF THE POST DEVELOPMENT SITE WILL SURFACE DRAIN TO THE DETENTION POND TO THE NORTH, PORTIONS OF THE EAST AND WEST DRIVES WILL DRAIN SOUTH TO THE PUBLIC RIGHT OF WAY AND BE CAPTURED BY STORM SEWER AND DIRECTED TO DETENTION FACILITIES.

**STORMWATER POLLUTION PREVENTION:**

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. THE CONTRACTOR SHALL MAINTAIN THE SWPPP PER THE REQUIREMENTS OF GENERAL PERMIT NO. 2. ALL OPERATORS/CONTRACTORS WORKING ONSITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTEES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/SUBCONTRACTORS WORKING ONSITE SHALL BE SUPPLIED A COPY OF THE SWPPP BY THE CONTRACTOR AND MUST BE FAMILIAR WITH ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES PER THE REQUIREMENTS OF THE GENERAL PERMIT #2. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/SUBCONTRACTORS WHOM ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE CONTRACTOR TO SEE THAT THESE REQUIREMENTS ARE MET.



REFER TO CONTRACT DOCUMENTS FOR SPECIFIC MATERIALS AND PLACEMENT REQUIREMENTS.

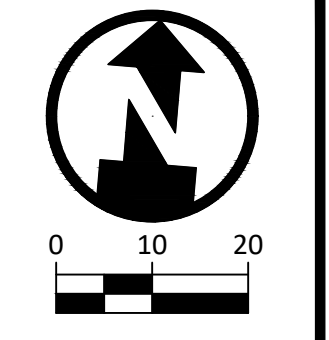
1 ENTRANCE LENGTH: 50 FOOT MINIMUM OR AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. LENGTH MAY BE INCREASED IF SEDIMENT TRACK-OUT OCCURS.

**CONSTRUCTION ENTRANCE**

NTS

**SITE PLAN KEYNOTES:**

- A ADA CURB RAMP. REFER TO SUDAS DETAIL 7030.207.
- B PROPOSED TYPICAL 5' WIDE 4" THICK CONCRETE SIDEWALK.
- C PROPOSED STANDARD DUTY CONCRETE PAVEMENT. 6" PCC ON 6" AGGREGATE BASE
- D CONCRETE STOOP. REFER TO STRUCTURAL PLANS.



| ENGINEER: | DATE: |
|-----------|-------|
|           |       |

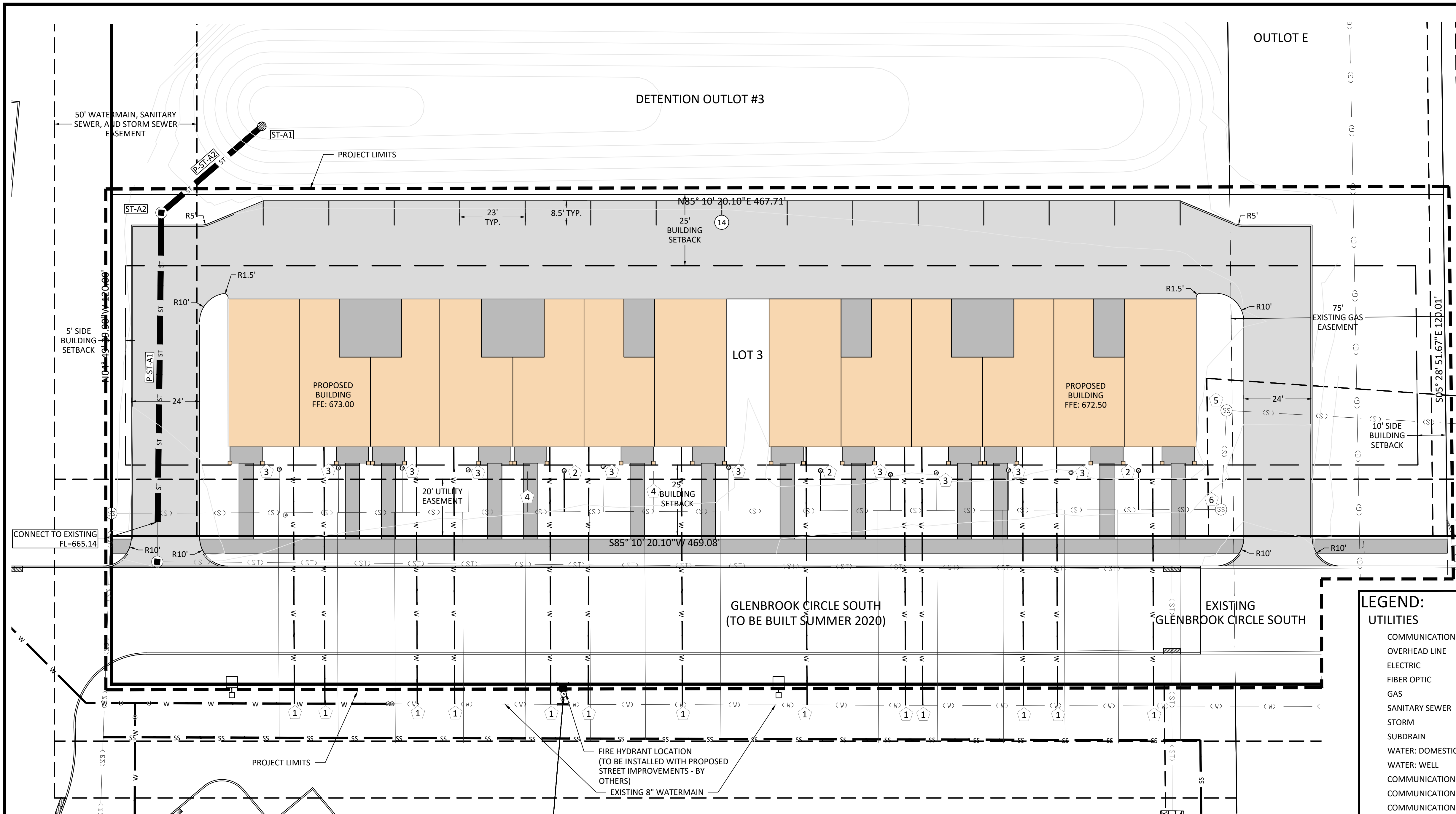
| DRAWING LOG | DESCRIPTION OF CHANGES | REV | DATE |
|-------------|------------------------|-----|------|
|             |                        |     |      |

|               |                       |
|---------------|-----------------------|
| ISSUED FOR:   | CITY REVIEW           |
| PROJECT NAME: | GLENBROOK RIDGE LOT 3 |
| CLIENT NAME:  | CLINT ALBRECHT        |

|                  |         |
|------------------|---------|
| SHEET NUMBER:    | C2.00   |
| PROJECT NO.:     | 20-0021 |
| PROJECT MANAGER: | BOELK   |

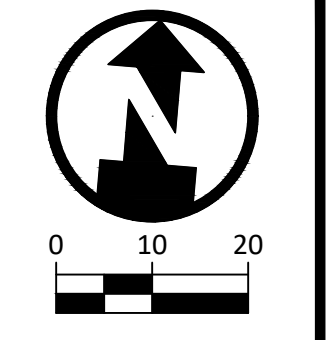
SITE PLAN

1  
C3.00



**UTILITY PLAN KEYNOTES:**

- PROPOSED DIRECTIONAL DRILL TAP 2" COPPER DOMESTIC SERVICE OFF EXISTING 8" WATERMAIN. IF INSTALLED PRIOR TO NEW STREET BEING BUILT, SERVICES MAY BE TRENCHED. REFER TO MEP AND ARCHITECTURAL PLANS FOR LOCATION AND DETAILS AT BLDG. FACE.
- PROPOSED (UNIT TO EXISTING SANITARY SEWER MAIN) 6" PVC SANITARY SEWER SERVICE @2.00%. PROVIDE CLEANOUT BETWEEN BUILDING AND MAIN AS SHOWN. REFER TO MEP AND ARCHITECTURAL PLANS FOR LOCATION AND DETAILS AT BLDG. FACE.
- PROVIDE CLEANOUT BETWEEN BUILDING AND MAIN AT END OF EXISTING SERVICE AS SHOWN.
- EXISTING SANITARY SERVICE TO BE ABANDONED PER CITY OF BETTENDORF REQUIREMENTS.
- ADJUST EXISTING SANITARY MANHOLE FROM 670.63 TO 671.60.
- ADJUST EXISTING SANITARY MANHOLE FROM 670.32 TO 670.60.



ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

DRAWING LOG

| REV | DESCRIPTION OF CHANGES |
|-----|------------------------|
|     |                        |
|     |                        |
|     |                        |

ISSUED FOR: CITY REVIEW

**NOT FOR CONSTRUCTION**

DATE ISSUED: MARCH 10, 2020

CURRENT REV: A

PROJECT NAME: GLENBROOK RIDGE LOT 3

CLIENT NAME: CLINT ALBRECHT

UTILITY PLAN

SHEET NUMBER: C3.00

PROJECT NO.: 20-0021

PROJECT MANAGER: BOELK

**LEGEND:**

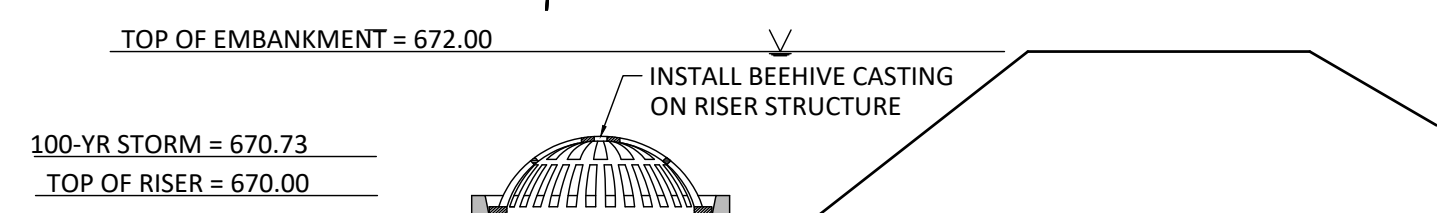
| UTILITIES               | EXISTING        | PROPOSED        |
|-------------------------|-----------------|-----------------|
| COMMUNICATIONS          | — (CD)          | — (CO)          |
| OVERHEAD LINE           | — (CH)          | — (OH)          |
| ELECTRIC                | — (E)           | — (E)           |
| FIBER OPTIC             | — (FD)          | — (FO)          |
| GAS                     | — (G)           | — (G)           |
| SANITARY SEWER          | — (S)           | — (SS)          |
| STORM                   | — (ST)          | — (ST)          |
| SUBDRAIN                | — (SD)          | — (SD)          |
| WATER: DOMESTIC         | — (W)           | — (W)           |
| WATER: WELL             | — (WELL)        | — (WELL)        |
| COMMUNICATIONS HANDHOLE | ⊠               | ⊠               |
| COMMUNICATIONS PEDESTAL | ⊞               | ⊞               |
| COMMUNICATIONS MANHOLE  | ⊙               | ⊙               |
| GUY WIRE ANCHOR         | ↑               | ↑               |
| UTILITY POLE            | ⊙               | ⊙               |
| UTILITY POLE WITH LIGHT | ⊙               | ⊙               |
| LIGHT POLE              | ⊙               | ⊙               |
| ELECTRIC MANHOLE        | ⊙               | ⊙               |
| ELECTRIC TRANSFORMER    | ⊞               | ⊞               |
| TRAFFIC HANDHOLE        | ⊞               | ⊞               |
| TRAFFIC MANHOLE         | ⊞               | ⊞               |
| FIBER OPTIC HANDHOLE    | ⊞               | ⊞               |
| FIBER OPTIC MANHOLE     | ⊞               | ⊞               |
| GAS MANHOLE             | ⊞               | ⊞               |
| GAS VALVE               | ⊙               | ⊙               |
| SANITARY SEWER MANHOLE  | ⊙               | ⊙               |
| SANITARY SEWER CLEANOUT | ⊙               | ⊙               |
| STORM SEWER MANHOLE     | ⊙               | ⊙               |
| STORM SEWER INTAKE      | ⊙               | ⊙               |
| HYDRANT                 | ⊙               | ⊙               |
| <b>SITE</b>             | <b>EXISTING</b> | <b>PROPOSED</b> |
| CONTOUR - INDEX         | — 100           | — 100           |
| CONTOUR - INTERMEDIATE  | — 101           | — 101           |

**LEGEND:**

|  |                    |
|--|--------------------|
|  | PROPOSED BUILDINGS |
|  | CONCRETE PAVEMENT  |

**SANITARY SEWER**

- SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SDR 23.5 POLYVINYL CHLORIDE (PVC) PER SECTION 4010 OF SUDAS. SANITARY SERVICES ARE 4". MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SERVICES. THE ENDS OF THE SANITARY SEWER SERVICE LINES SHALL BE MARKED WITH 2X4 POSTS PAINTED GREEN.



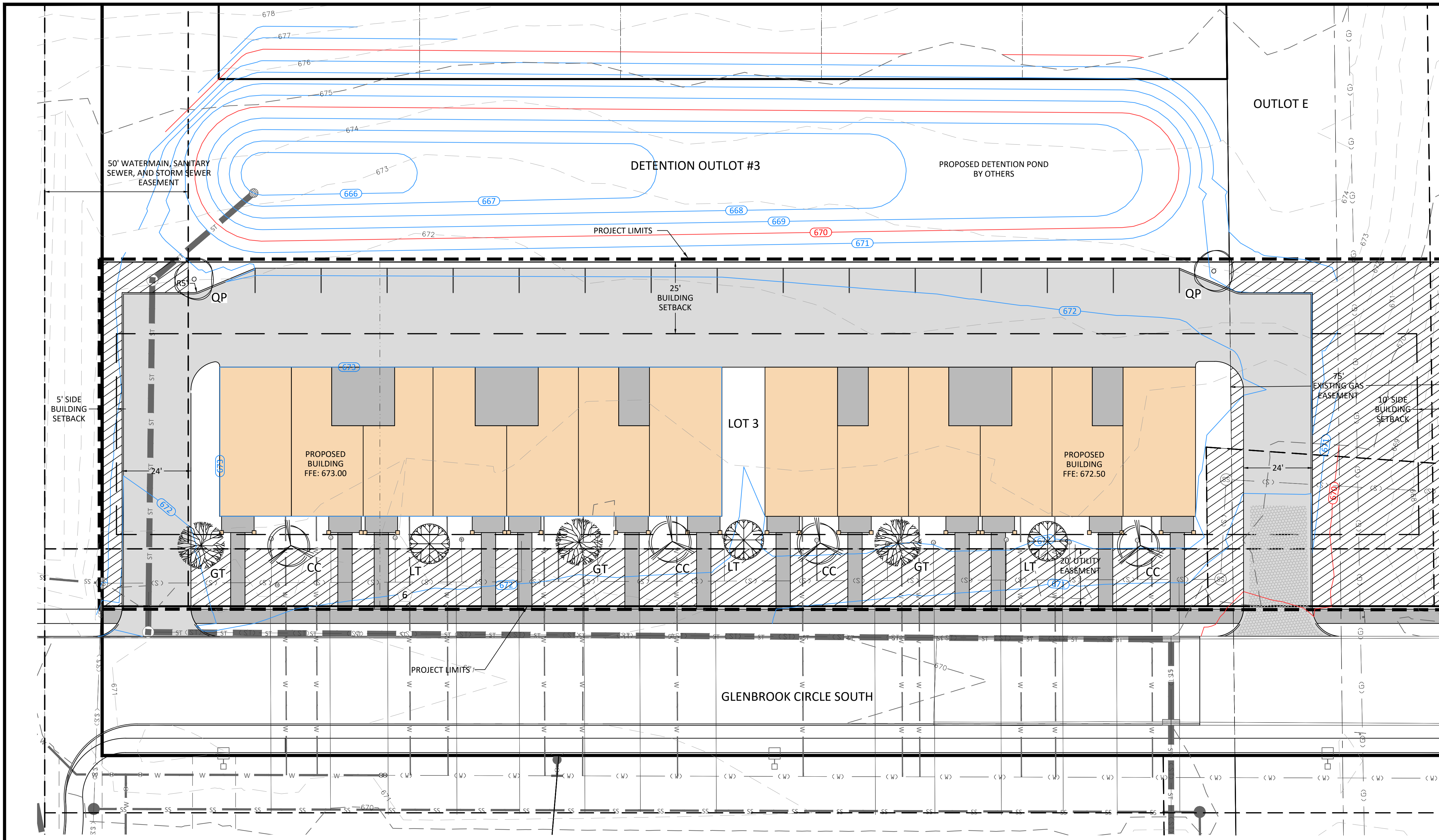
**BASIN OUTLET STRUCTURE**  
NOT TO SCALE

**Structure Table**

| Structure Name      | Structure Details                                                      |
|---------------------|------------------------------------------------------------------------|
| ST-A2               | RIM = 674.512<br>P-ST-A1 INV IN = 671.762<br>P-ST-A2 INV OUT = 671.762 |
| ST-A1               | RIM = 667.753<br>P-ST-A2 INV IN = 665.003                              |
| CONNECT TO EXISTING | RIM = 667.515<br>P-ST-A1 INV OUT = 665.140                             |

**Pipe Table**

| Pipe Name | Size   | Length  | Slope  | NOTES |
|-----------|--------|---------|--------|-------|
| P-ST-A1   | 24.000 | 108.657 | -6.09% | RCP   |
| P-ST-A2   | 24.000 | 46.558  | 14.52% | RCP   |



**PLANT REQUIREMENTS:**  
 10 TREE FACTORS REQUIRED IN FRONT YARD.  
 2 TREE FACTORS REQUIRED IN INTERIOR.

**PLANTING NOTES:**  
 VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY, THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL GOVERN OVER QUANTITIES LISTED WITHIN THE PLANT SCHEDULES. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.

CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IMMEDIATELY.

THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IS TO APPROVE ANY OR ALL SUBSTITUTIONS.

ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH A.N.L.A. SPECIFICATIONS.

UPON DELIVERY, ALL PLANT MATERIAL MUST MEET A.S.N.S. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO ACCEPTANCE.

PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS.

PLANT MATERIAL SHALL BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. ANY CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IMMEDIATELY.

NO IMPROVEMENTS SHALL BE DONE IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.

LANDSCAPE CONTRACTOR TO PERFORM SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.

PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.

ALL SHRUBS AND GROUNDCOVERS TO BE LOCATED A MINIMUM OF 7' FROM FIRE HYDRANTS. NO PLANTS ARE TO BE PLACED BETWEEN THE FIRE HYDRANT AND CURB.

GRADING ON THE PROJECT IS PER THE GRADING PLANS. HOWEVER, ADDITIONAL FINE GRADING WILL BE NECESSARY BY THE LANDSCAPE CONTRACTOR.

REFER TO THE ENGINEER'S PLANS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.

CONTRACTOR TO MUST ENSURE A 1' CLEARANCE BETWEEN SIDEWALKS AND FULLY MATURE PLANT CANOPIES (EXCLUDING OVERSTORY TREES).

3 INCHES MULCH IS TO BE PROVIDED AROUND ALL TREE AND SHRUB PLANTINGS. ROCK MULCH TO BE USED IN PLANTER BEDS AND HARDWOOD MULCH FOR TREES IN LAWN AREAS. COLOR TO BE SELECTED BY OWNER.

CONTRACTOR IS TO CALL FOR UTILITY LOCATES PRIOR TO INSTALLATION WORK. CONTACT IOWA ONE CALL (1-800-292-8989 OR 811) AT LEAST 48 HOURS PRIOR TO DIGGING.

**INSTALLATION NOTES:**  
 STAKE ALL NEWLY PLANTED TREES RELATIVE TO EXPOSURE TO WIND. STRAIGHTEN ALL TREES THAT ARE NOT STAKED WHEN FIRST PLANTED, AS NECESSARY.

PRUNE BROKEN BRANCHES AS NECESSARY, MAX. 1/3

AFTER BACKFILLING, ROTOTILL EXISTING GROUND TO A DEPTH OF 8" - 10" TO A DISTANCE OF 30" AROUND HOLE.

MULCH ROOTBALL WITH WOOD CHIPS OR SHREDDED BARK. MULCH TO BE 4" IN DEPTH, AND PLACED 6" FROM TRUNK OF TREE, EXTEND 12" PAST THE EDGE OF THE HOLE.

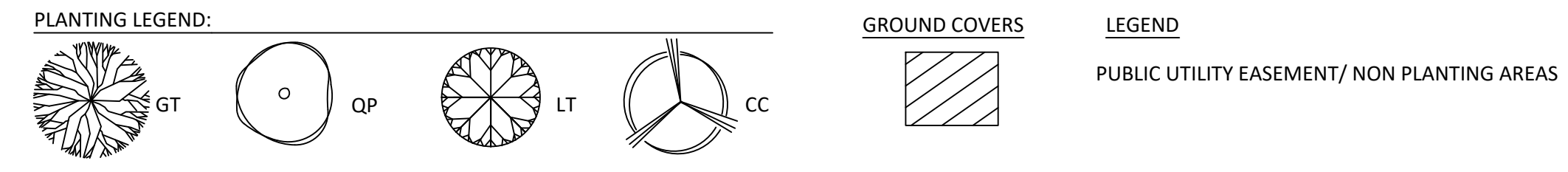
SEED OR SOD TO LIMITS OF MULCH.

ROOTBALL TO BE PLACED ON UNDISTURBED GROUND AND SET 2" ABOVE FINISHED GRADE. PLANTING HOLE TO BE 6" WIDER THAN ROOTBALL.

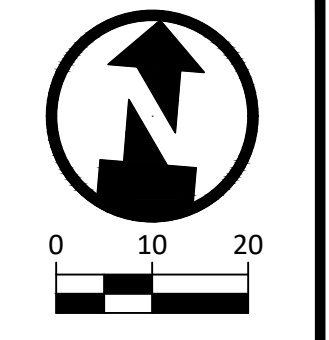
BACKFILL WITH EXISTING SOIL IN 6" LIFTS, TAMP AND WATER.

COORDINATE WATERING SCHEDULE WITH LANDSCAPE/NURSERY CONTRACTOR FOR ALL TREES & SHRUBS.

MAINTAIN ADEQUATE WATERING SUPPLY THROUGHOUT FIRST FULL CALENDAR YEAR OF GROWTH AS PER LANDSCAPE/NURSERY CONTRACTOR RECOMMENDATION(S).



| ID                     | QNTY | BOTANICAL / COMMON NAME                                           | ROOT | SPACING  | NOTES / MIN. SIZE                                                                 |
|------------------------|------|-------------------------------------------------------------------|------|----------|-----------------------------------------------------------------------------------|
| <b>DECIDUOUS TREES</b> |      |                                                                   |      |          |                                                                                   |
| QP                     | 2    | Quercus coccinea<br>SCARLET OAK                                   | BB   | SEE PLAN | NURSERY MATCHED, QUALITY SPECIMEN.<br>MIN. 1.5" TRUNK SIZE 6" ABOVE FINISH GRADE. |
| GT                     | 3    | Gleditsia Tracanthos F. Inermis 'Skycole'<br>SKY LINE HONEYLOCUST | BB   | SEE PLAN | NURSERY MATCHED, QUALITY SPECIMEN.<br>MIN. 1.5" TRUNK SIZE 6" ABOVE FINISH GRADE. |
| LT                     | 3    | Liriodendron tulipifera<br>TULIP TREE                             | BB   | SEE PLAN | NURSERY MATCHED, QUALITY SPECIMEN.<br>MIN. 1.5" TRUNK SIZE 6" ABOVE FINISH GRADE. |
| CC                     | 4    | Cercis canadensis<br>EASTERN REDBUD                               | BB   | SEE PLAN | NURSERY MATCHED, QUALITY SPECIMEN.<br>MIN. 1.5" TRUNK SIZE 6" ABOVE FINISH GRADE. |



**AXIOM CONSULTANTS**  
 WWW.AXIOM-CON.COM | (319) 519-6220

**DRAWING LOG**

| REV | DATE | DESCRIPTION OF CHANGES |
|-----|------|------------------------|
|     |      |                        |

**NOT FOR CONSTRUCTION**

DATE ISSUED: MARCH 10, 2020

CURRENT REV: A

PROJECT NAME: GLENBROOK RIDGE LOT 3

CITY REVIEW

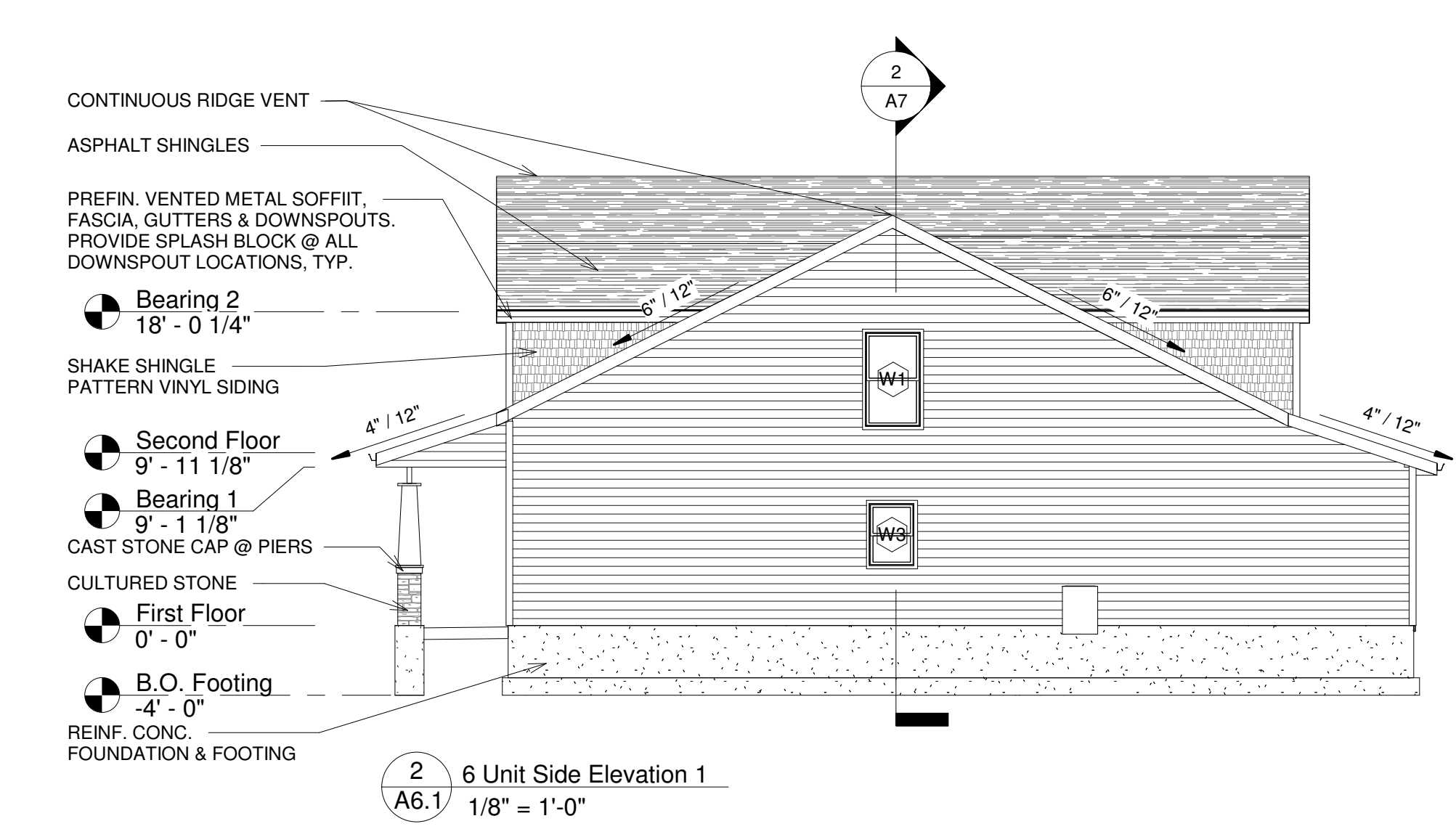
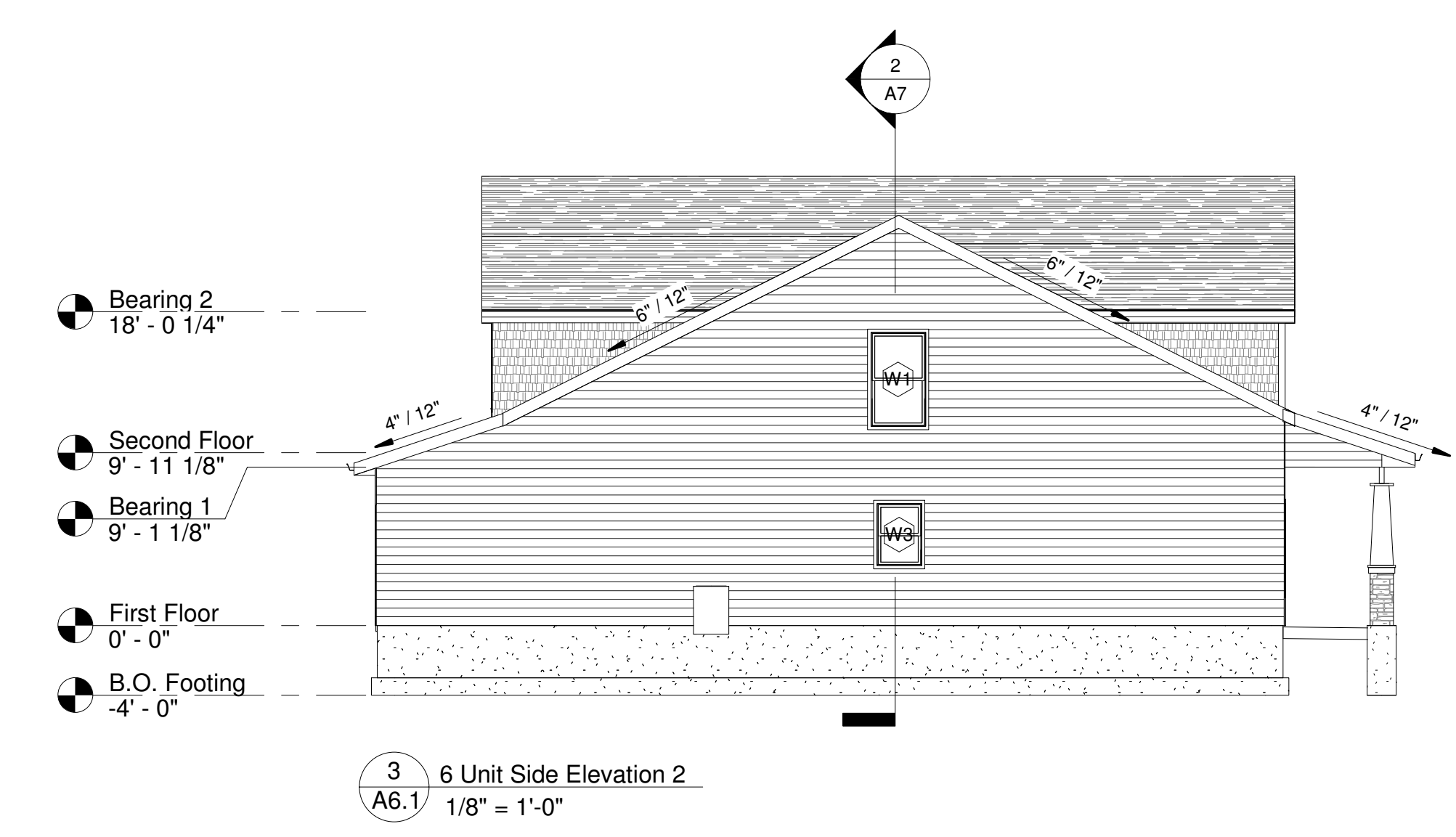
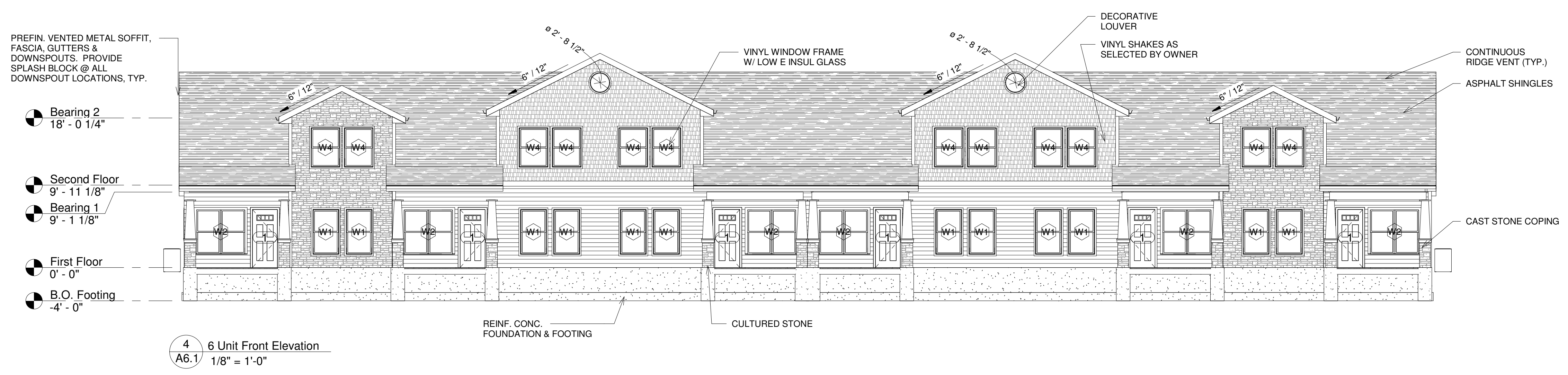
CLIENT NAME: CLINT ALBRECHT

LANDSCAPE PLAN

SHEET NUMBER: L1.00

PROJECT NUMBER: 20-0021

PROJECT MANAGER: BOELK



Preliminary Drawings for:  
**6 & 7 Unit Brownstones**  
 Bettendorf, Iowa



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

April 15, 2020

Staff Report

### Case No. 20-020

**Location:** Forest Grove Crossing Third Addition – Site Development Plan

**Applicant:** Youssi Real Estate & Development, Inc.

**Zoning Classification:** Urban Medium Intensity

**Zoning Classification:** Urban Medium Intensity

### Background Information and Facts

Youssi Real Estate & Development, Inc. has submitted the site development plan for multi-family lots in Forest Grove Crossing 3<sup>rd</sup> Addition located east of Forest Grove Crossing First Addition (see Aerial Photo - Attachment A). The final plat of Forest Grove Crossing Third Addition is a 22-lot subdivision (see Final Plat -Attachment B). Lots 13-18 are the parcels proposed to be designated for tri-plexes (see Site Plan and Elevations - Attachments C and D).

### Land Use

The land use designation for the site is Urban Medium Intensity (UMI) which permits the UMI zoning classification. Tri-plexes are a form of multi-family development permitted in this zoning classification.

### Utilities

Utilities are available from Forest Grove Crossing First Addition. All utilities, with the exception of sewer, originated from Forest Grove Drive. The sanitary sewer originated from the west near the Davenport city limits and was extended during the construction of the first addition. Sewer will be stubbed through the subdivision to the east limits for future additions.

### Thoroughfare Plan/Access

The third addition included the extensions of Charissa's Place and Mary Leigh Drive on which these lots will front. It also included the extension of Shane's Way to the north. As the property develops further to the east, an additional entrance onto Forest Grove Drive will be provided. Until that time, a temporary sealcoat fire access road that will be able to accommodate Fire Department equipment shall be constructed to connect Charissa's



Place, Shane's Way, and Mary Leigh Drive to Cash's Path. As construction of that is not possible until final paving of the third addition, a temporary "No Parking" zone has been added to Grove Crossing to facilitate emergency access.

### **Storm Water Detention**

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention must be accommodated for all development within the proposed subdivisions. A regional basin has been constructed near the southwest corner of this subdivision and satisfies all requirements.

### **Recommended Action**

Staff recommends the Planning and Zoning Commission evaluate the approval of the platting request given the mixed use land use concept promoted in the Comprehensive Plan and Zoning Ordinance to determine if it would fit the descriptions of both the existing land use map and surrounding zoning.

Staff would add the following conditions to any approval of the site development plan request:

1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. The fire access lane shall be constructed prior to the issuance of certificates of occupancy.

Respectfully submitted,

Greg Beck  
City Planner

INTERSTATE 80

INTERSTATE 80

A-1, Agriculture  
Urban Reserve

Urban  
Medium  
Intensity

FOREST GROVE DR



RE-PLAT

FOREST GROVE CROSSING THIRD ADDITION

BEING A RE-PLAT OF OUTLOT B OF FOREST GROVE CROSSING FIRST ADDITION, PART OF THE WEST HALF OF THE NORTHWEST QUARTER SECTION 3, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M. CITY OF BETTENDORF, SCOTT COUNTY, IOWA



| Curve # | Length (ft) | Radius (ft) | Delta      | Chord Length (ft) | Chord Direction |
|---------|-------------|-------------|------------|-------------------|-----------------|
| C1      | 62.41'      | 99.50'      | 035°56'08" | 61.39'            | S19°55'25"E     |
| C2      | 34.64'      | 55.50'      | 035°45'48" | 34.08'            | S20°00'35"E     |
| C3      | 41.04'      | 55.50'      | 042°22'13" | 40.11'            | S19°03'26"W     |
| C4      | 46.30'      | 55.50'      | 047°48'07" | 44.97'            | S64°08'36"W     |
| C5      | 46.69'      | 55.50'      | 048°11'57" | 45.32'            | S67°51'22"E     |
| C6      | 38.88'      | 55.50'      | 040°08'31" | 38.09'            | N23°41'08"W     |
| C7      | 36.42'      | 55.50'      | 037°35'40" | 35.77'            | N15°10'57"E     |
| C8      | 62.41'      | 99.50'      | 035°56'08" | 61.39'            | N16°00'43"E     |

APPROVAL SIGNATURES:

MAYOR: *[Signature]* DATE: 10/25/19

CITY CLERK: *[Signature]* DATE: 10-18-19

CHAIRMAN PLAN & ZONE: *[Signature]* DATE: 10-25-19

CENTURY LINK: *[Signature]* DATE: 10-15-19

IOWA AMERICAN WATER COMPANY: *[Signature]* DATE: 10-17-19

MEDIACOM: *[Signature]* DATE: 10/15/19

MIDAMERICAN ENERGY: *[Signature]* DATE: 10/15/19

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

NOTES:

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.

"UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER, SANITARY SEWER AND COMMUNICATION LINES AS NEEDED.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

THE SUBJECT PROPERTY WILL BE ZONED UMI: URBAN MEDIUM INTENSITY AT THE TIME OF ACCEPTANCE BY THE CITY. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

NO PORTION OF THE SUBDIVISION ARE LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAPS #19163C0376F AND 19163C0376F, EFFECTIVE DATE FEBRUARY 18, 2011.

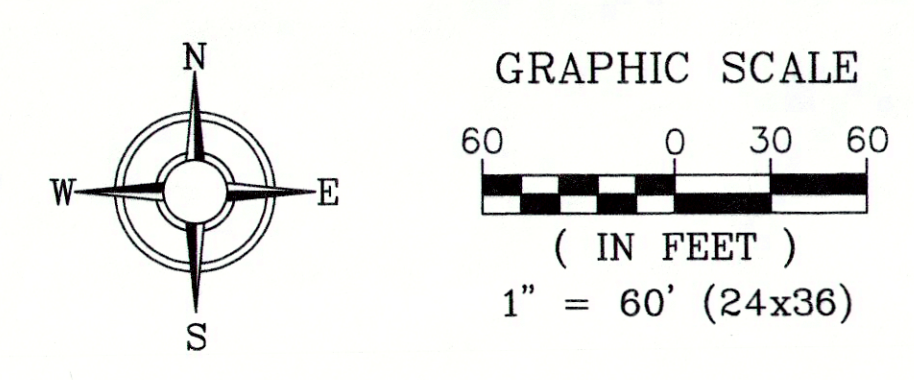
LOTS 1-12 SHALL BE DESIGNATED FOR SINGLE FAMILY USE.

LOTS 13-22 SHALL BE DESIGNATED FOR MULTI-FAMILY USE.

OUTLOT A OF FOREST GROVE CROSSING 2nd ADDITION SHALL BE DESIGNATED FOR STORM WATER DETENTION AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

THE 52' FIRE LANE EASEMENT RECORDED AS A PART OF FOREST GROVE CROSSING FIRST ADDITION SHALL BE VACATED WITH THE RECORDATION OF FOREST GROVE CROSSING THIRD ADDITION.

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.



**BOUNDARY LEGEND:**  
 DEED DIMENSION = (0.00')  
 FIELD DIMENSION = 0.00'  
 MONUMENTS FOUND  
 #5 REBAR, UNLESS NOTED = ●  
 MONUMENTS SET:  
 #5 REBAR W/ YELLOW CAP #23503 = ○  
 BOUNDARY LINE = ————  
 ROAD CENTER LINE = - - - - -  
 EASEMENT LINE = - - - - -  
 SETBACK LINE = - - - - -  
 SECTION LINE = - - - - -

**PLAT INFORMATION**

1. Owner: Youssi Investments of Iowa, LLC  
 7573 Deer Crossing  
 Roscoe, IL 61073

2. Engineer: Townsend Engineering  
 2224 East 12th Street  
 Davenport, Iowa 52803  
 Ph: (563) 386-4236

3. Surveyor: Michael D. Richmond  
 2224 East 12th Street  
 Davenport, Iowa 52803  
 Ph: (563) 386-4236

4. Attorney: Pastrnak Law Firm PC  
 313 W. 3rd Street Suite 1  
 Davenport, IA 52801  
 Ph: (563) 323-7737

| Single Family Setbacks |      |                         |
|------------------------|------|-------------------------|
| Front                  | Rear | Side                    |
| 25'                    | 25'  | Min: 5' w/ Total Of 15' |

| Multi-Family Setbacks |      |                         |
|-----------------------|------|-------------------------|
| Front                 | Rear | Side                    |
| 25'                   | 25'  | Min: 5' w/ Total Of 15' |

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

*[Signature]* DATE: 10-15-19

MICHAEL D. RICHMOND  
 RICHMOND  
 23503  
 Iowa License Number: 23503  
 My license renewal date is December 31, 2019  
 Pages or sheets covered by this seal: 1

|  |                |                          |                                             |                  |                                      |                                                   |             |
|--|----------------|--------------------------|---------------------------------------------|------------------|--------------------------------------|---------------------------------------------------|-------------|
|  | DATE: 08/02/19 | TE PROJECT NO: YOUSSI-FG | DRAWN BY: MDR                               | REVISIONS: NO. 1 | PROJECT: Forest Grove Crossing Third | DEVELOPER: Youssi Real Estate & Development, Inc. | SHEET NO. 1 |
|  |                | CHECKED BY: CRT          | DRAWN BY: S:\YOUSSI\FORESTGROVE\3-28-18.DWG | DATE:            | Forest Grove Drive                   | 12162 Marble                                      | OF 1        |
|  |                |                          |                                             |                  | Bettendorf, IA 52722                 | Rockton, IL 61072                                 |             |

**GENERAL NOTES**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- PROPOSED LOT DRAINAGE LINE ARE SHOWN AS A GUIDE FOR CONSTRUCTION OF HOUSES AND APPROXIMATE FLOW PATH

# Youssi Real Estate Forest Grove Crossing

3-PLEX UNITS / LOTS 13-18  
FOREST GROVE CROSSING THIRD ADD.  
TO THE CITY OF BETTENDORF, IA

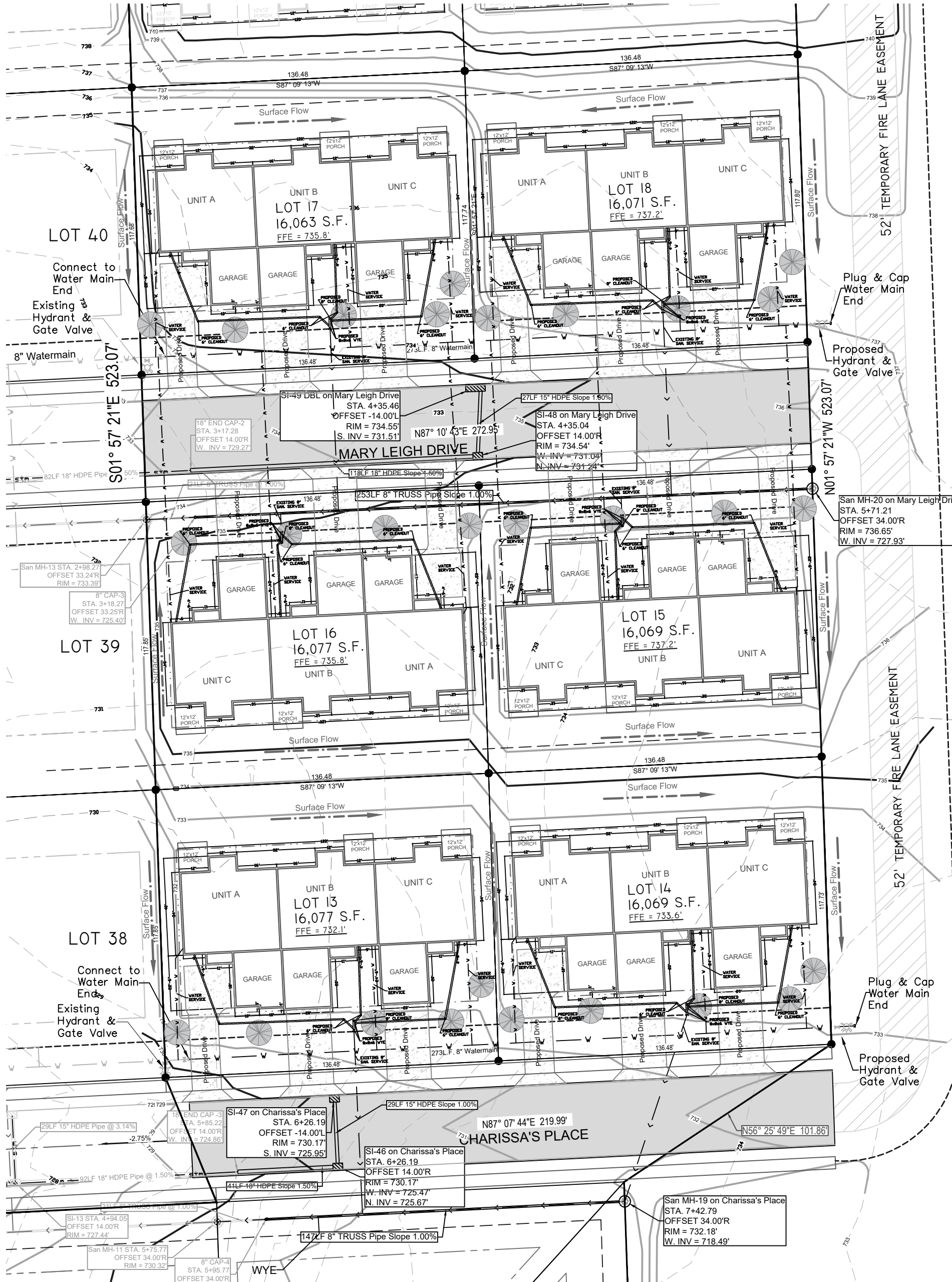
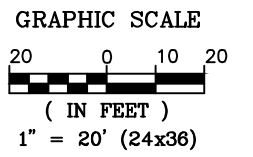
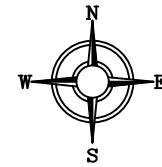
**LEGEND:**

|  |                      |  |                       |  |                             |
|--|----------------------|--|-----------------------|--|-----------------------------|
|  | EASEMENT             |  | EXISTING GAS VALVE    |  | EXISTING CONTOUR LINE       |
|  | SETBACK LINE         |  | EXISTING WATER VALVE  |  | PROPOSED CONTOUR LINE       |
|  | CENTERLINE           |  | EXISTING UTILITY POLE |  | SPOT ELEVATION TOP OF CURB  |
|  | PROPERTY BOUNDARY    |  | EXISTING LIGHT POLE   |  | SPOT ELEVATION FL. @ GUTTER |
|  | EXISTING FENCE       |  | EXISTING TREE         |  | SPOT ELEVATION SIDEWALK     |
|  | EXISTING SANITARY    |  | EXISTING BUSH         |  | FINISHED FLOOR ELEVATION    |
|  | PROPOSED SANITARY    |  | EXISTING MANHOLE      |  |                             |
|  | EXISTING STORM SEWER |  | EXISTING FIRE HYDRANT |  |                             |
|  | PROPOSED STORM SEWER |  | FOUND PROPERTY PIN    |  |                             |
|  | EXISTING WATER       |  | CONTROL POINT         |  |                             |
|  | PROPOSED WATER       |  |                       |  |                             |
|  | EXISTING GAS LINE    |  |                       |  |                             |
|  | PROPOSED GAS LINE    |  |                       |  |                             |
|  | EXISTING ELECTRIC    |  |                       |  |                             |

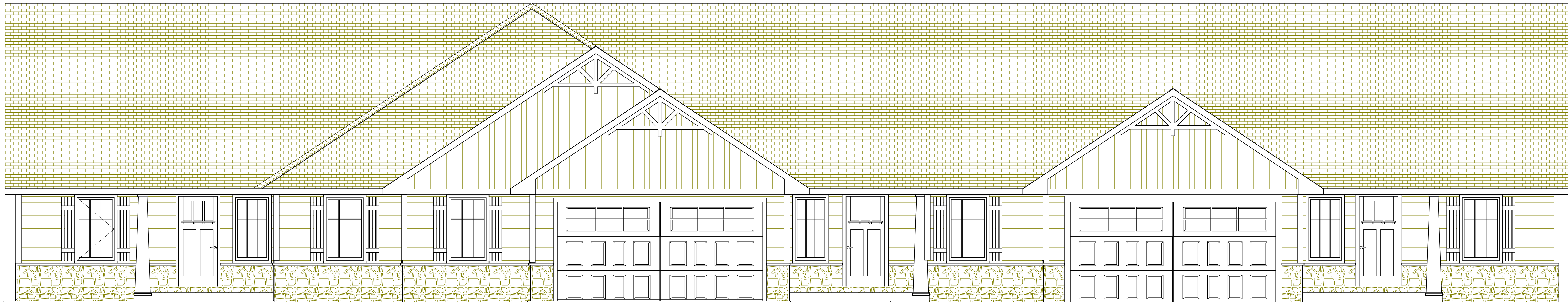
**BETTENDORF LANDSCAPING REQUIREMENTS**

Typical Straight Lots (13-18)  
Street ROW Required Tree Factors= 4 Per Lot  
Total Required Tree Factors=24

| Tree Type | Plant Description                                                                                                                                                              | Tree Factors                                                                                                                                                                                                                                | Count                         |
|-----------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
|           | Deciduous Overstory Tree. A shade-producing woody plant having a mature height and spread of at least 30 feet with one well-defined trunk and no branches at or near the base. | Deciduous overstory<br>2-inch caliper and 22-inch ball or pot<br>4-inch caliper and 40-inch ball or pot                                                                                                                                     | 1.0<br>2.0<br>81              |
|           | Deciduous Understory Tree. A woody plant at least 10 feet tall at maturity with one or more well-defined trunks.                                                               | One-stem deciduous understory<br>1 1/2-inch caliper and 16-inch ball or pot<br>3-inch caliper and 30-inch ball or pot<br>Multi-stem deciduous understory<br>6-foot height and 16-inch ball or pot<br>12-inch height and 30-inch ball or pot | 0.5<br>1.0<br>0.5<br>1.0<br>0 |
|           | Evergreen/Conifer Tree. An upright cone-bearing plant having green needle-like foliage throughout the year and at least 20 feet tall at maturity.                              | Evergreen<br>6-foot height and 16-inch ball or pot<br>12-foot height and 30-inch ball or pot                                                                                                                                                | 0.5<br>1.0<br>0               |



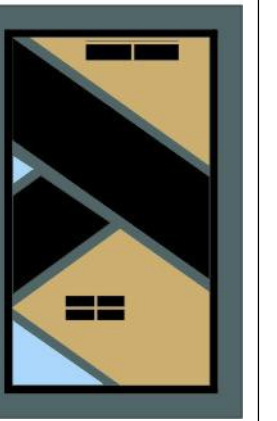
| NO. | REVISIONS: DESCRIPTION | DATE |
|-----|------------------------|------|
| ##  | ##                     | ##   |
| ##  | ##                     | ##   |
| ##  | ##                     | ##   |
| ##  | ##                     | ##   |



1/4" = 1' FRONT

815 519  
0055

**YOUSSEF**  
REAL ESTATE • DEVELOPERS



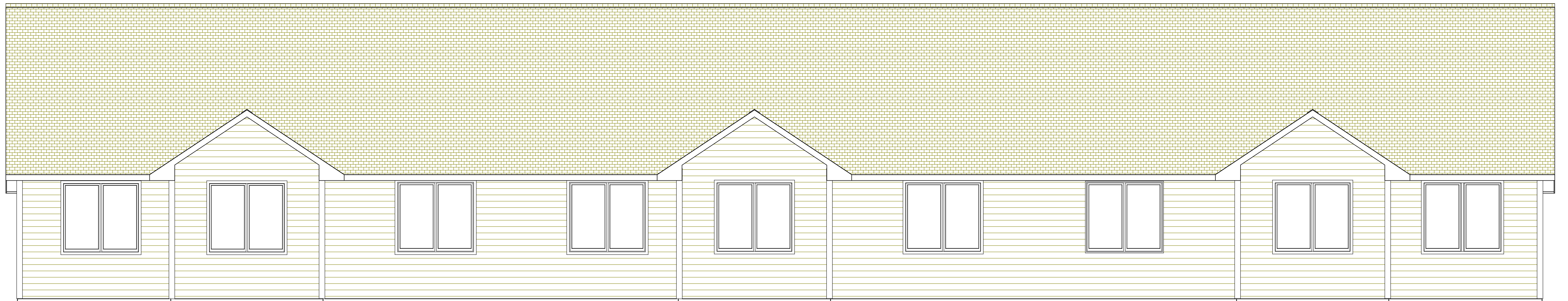
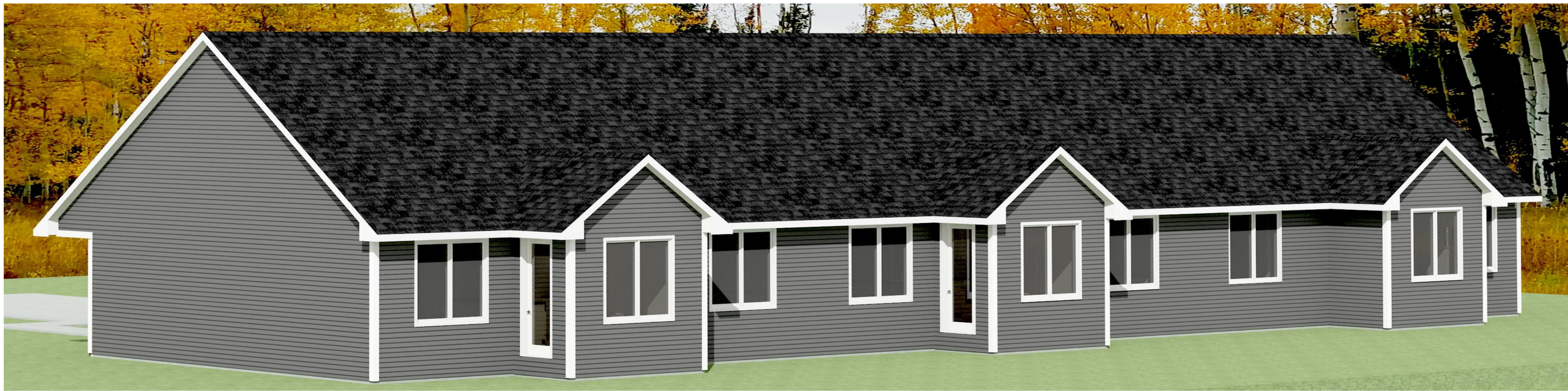
DRAWN BY  
RON RODAKOWSKI  
815 272 3708

DATE:  
2/28/2020

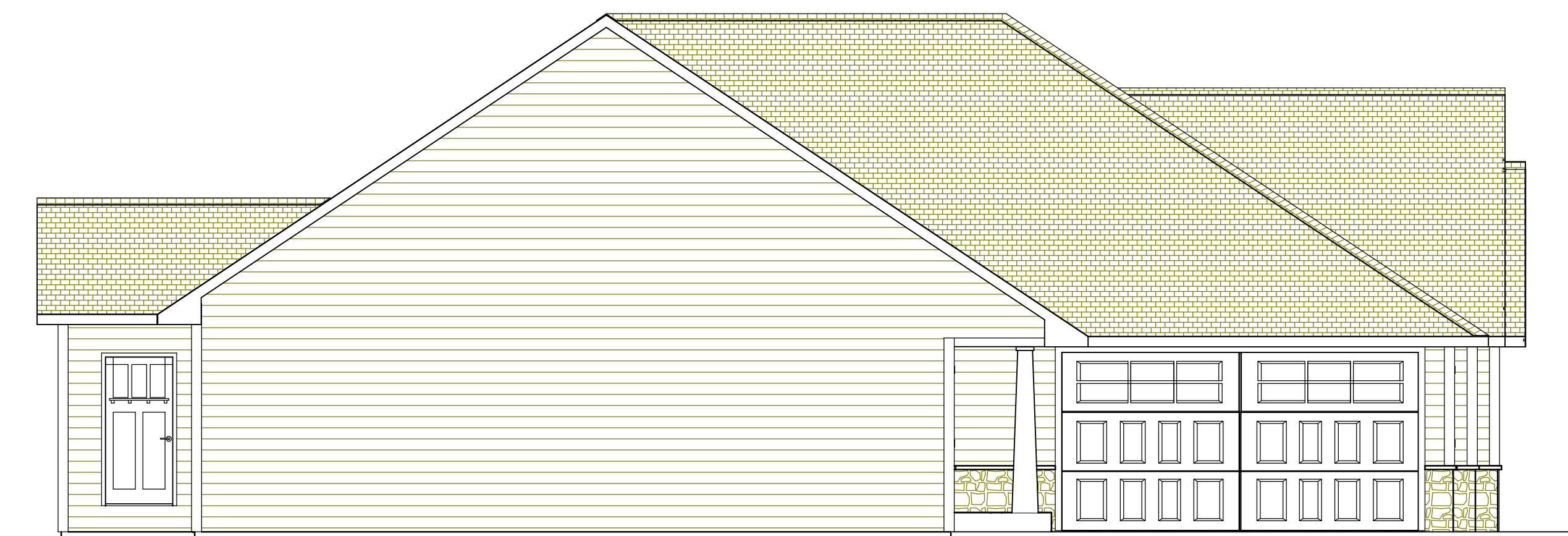
SCALE:

SHEET:

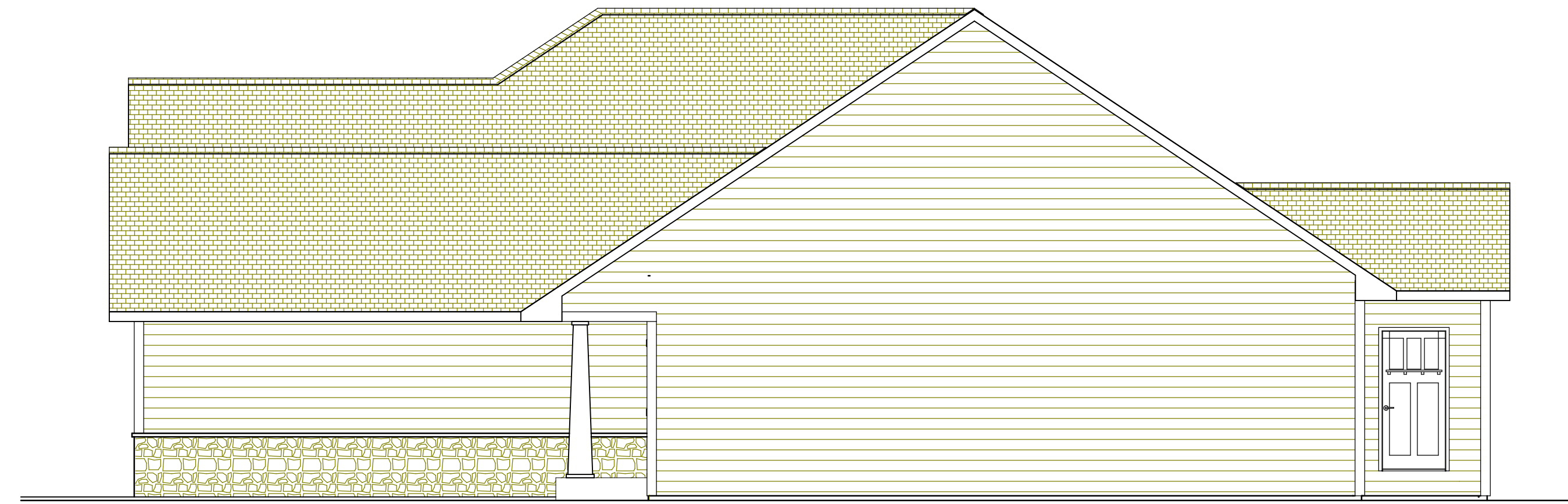
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1/4" = 1' REAR



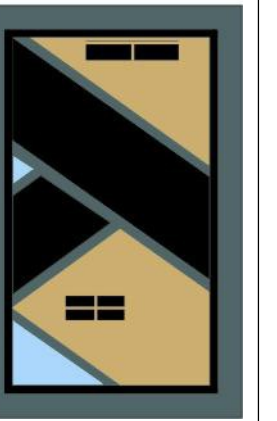
3/16" = 1' LEFT



3/16" = 1' RIGHT

815 519  
0055

**YOUSSSI**  
REAL ESTATE • DEVELOPERS



DRAWN BY  
RON RODAKOWSKI  
815 272 3708

DATE:

2/28/2020

SCALE:

SHEET:

2